

# MONTCLAIR STATE UNIVERSITY

## STUDENT CENTER EXTERIOR STAIR REPAIR UPPER MONTCLAIR, NJ JRS ARCHITECT PROJECT #23090.00

### GENERAL NOTES

- ALL WORK SHALL BE GOVERNED BY THE TERMS AND CONDITIONS OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AND THE REQUIREMENTS OF ALL APPROPRIATE PUBLIC AUTHORITY, REGULATORY AGENCIES, AND/OR LANDLORD.
- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, REGULATIONS AND ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK INDICATED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS, APPROVALS, CONTROLLED INSPECTIONS, AS WELL AS THEIR ASSOCIATED FEES, FOR ALL TRADES, EXCEPT WHERE SPECIFIED AND AGREED UPON ELSEWHERE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH BUILDING MANAGEMENT FOR ELEVATORS OR OTHER HOISTING FACILITIES FOR HANDLING MATERIALS AND REMOVAL OF DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH CONDITIONS THEREON AND TO DETERMINE THE EXTENT OF ALL FACILITIES AND SERVICES REQUIRED TO PERFORM THE WORK IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL MAINTAIN ONE COPY OF THE LATEST CONTRACT DOCUMENTS INCLUDING ALL CHANGES AT THE JOBSITE FOR THE USE OF THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF ALL HIS/HER EMPLOYEES AND ALL SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK FOR THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED ANYWHERE WITHIN THE BOUNDARIES OF THE PROPERTY, AND ANY DAMAGE SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL REGULARLY REMOVE ALL UNUSED MATERIAL, RUBBISH, AND DEBRIS FROM THE PROPERTY AND BROOM CLEAN DAILY. THE SITE AND PREMISES SHALL BE KEPT REASONABLY CLEAN, NEAT AND ORDERLY TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL CONTROL CLEANING OPERATIONS TO PREVENT DIRT OR DUST FROM LEAVING THE JOBSITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.
- ALL SLAB DRILLING AND CUTTING SHALL BE DONE AFTER NORMAL BUSINESS HOURS OR AS DIRECTED IN WRITING BY THE OWNER.
- RELOCATION AND/OR INTERRUPTION OF ANY BUILDING UTILITIES INCLUDING, BUT NOT LIMITED TO STEAM, CONDENSATE LINES, ELECTRICAL, PLUMBING, TELECOMMUNICATIONS, ETC., MUST BE COORDINATED WITH BUILDING MANAGEMENT AND BE PERFORMED AFTER NORMAL BUSINESS HOURS, OR AS DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE ALL SLAB OPENINGS TO COMPLETE THE GENERAL CONSTRUCTION, HVAC, PLUMBING, SPRINKLER, ELECTRICAL AND ANY OTHER WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL REPORT ANY DISCREPANCIES AND/OR CONDITIONS WHICH WOULD INTERFERE WITH THE COMPLETION OF THE WORK TO THE ARCHITECT. COMMENCEMENT OF THE WORK SHALL SIGNIFY ACCEPTANCE OF ANY AND ALL JOBSITE CONDITIONS.
- THE CONTRACTOR SHALL SUBMIT CUTS AND SAMPLES OF FINISHES FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING, FABRICATION, OR COMMENCEMENT OF THE WORK.
- WHEN "APPROVED EQUAL," "EQUAL TO," OR WHERE OTHER QUALIFYING TERMS ARE USED, SUBSTITUTIONS SHALL BE BASED SOLELY UPON THE REVIEW AND APPROVAL OF THE ARCHITECT. THE BURDEN OF PROOF THAT A PRODUCT OR SYSTEM MEETS OR EXCEEDS THAT WHICH WAS SPECIFIED LIES ENTIRELY ON THE CONTRACTOR.
- THE CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMISSION TO THE ARCHITECT FOR HIS REVIEW, AND PRIOR TO THE COMMENCEMENT OF THE WORK. SUBMITTAL SHALL BE IN THE FORM OF ONE (1) REPRODUCIBLE SEPIA TRANSPARENCY (POSITIVE SIDE UP), THREE (3) B&W PRINTS OF EACH DRAWING. SUBMIT FIVE (5) COPIES OF ALL CUTS.
- ANNOTATIONS ON ANY PLAN, ELEVATION, SECTION, OR DETAIL ARE APPLICABLE TO ALL PLANS, ELEVATIONS, SECTIONS, AND DETAILS. DO NOT SCALE DRAWINGS. USE DIMENSIONAL NOTATIONS ONLY.
- ALL DIMENSIONS ARE SHOWN TO FINISH SURFACES UNLESS OTHERWISE NOTED.
- LARGE SCALE DRAWINGS (I.E. SECTIONS, DETAILS, ETC.) TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. SPECIFICATIONS TAKE PRECEDENCE OVER DRAWINGS.
- ALL FIRE RATED AND SOUND ATTENUATING PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURE ABOVE, EXCEPT IF NOTED OTHERWISE.
- WHERE A NEW PARTITION ALIGNS WITH AN EXISTING INTERIOR COLUMN ENCLOSURE THE OUTER LAYER OF GYPSUM BOARD SHALL BY-PASS AND BE LAMINATED TO THE EXISTING FINISH. ACCESS PANELS, ELECTRICAL DEVICES, ETC., SHALL BE RESET AS REQUIRED.
- ALL NEW PARTITIONS SHALL MATCH EXISTING ADJACENT PARTITIONS IN REGARD TO CONSTRUCTION, MATERIAL RATING, AND FINISH, UNLESS OTHERWISE NOTED.
- WHERE EXISTING WALLS, FLOORS, CEILINGS, ETC., ARE REMOVED, PATCH TO MATCH EXISTING FINISHES, TEXTURE, AND COLOR IN ADJACENT AREA.
- WHERE MECHANICAL, ELECTRICAL OR PLUMBING DEVICES ARE REMOVED OR INSTALLED IN EXISTING PARTITIONS, THE CONTRACTOR SHALL FRAME AND PATCH TO MATCH ALL EXISTING ADJACENT MATERIALS, FINISHES AND FIRE RATINGS.
- WHERE DUCTS, ELECTRICAL CONDUIT OR PLUMBING PIPING PASS THROUGH FLOORS, WALLS, OR CEILINGS; CLOSE OFF SPACE BETWEEN THE PIPE/DUCT AND THE CONSTRUCTION WITH NONCOMBUSTIBLE INSULATION AND PROVIDE SNUG FIT METAL ESCUTHEON CAPS ON BOTH SIDES AND CAULK.
- ALL OUTLETS AND SWITCH PLATES ARE TO BE BUILDING STANDARD, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE WALL AND CEILING ACCESS PANELS AS REQUIRED BY THE MECHANICAL, ELECTRICAL AND PLUMBING WORK AS DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL REPAIR, CLEAN OR REPLACE AS REQUIRED ALL EXISTING ACCESS PANELS TO REMAIN WITHIN THE CONTRACT LIMITS AS DIRECTED BY THE ARCHITECT.
- ALL DRAWINGS AND NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.
- IN THE EVENT OF DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, THE ARCHITECT OF RECORD SHALL DECIDE WHICH DRAWING SHALL RULE CONSTRUCTION AND/OR SCOPE OF WORK.
- SHOULD ANY OF THE PARTITIONS TO BE REMOVED BE FOUND TO BE LOAD BEARING, NOTIFY THE ARCHITECT IMMEDIATELY OF THE CONDITIONS PRIOR TO PERFORMING ANY WORK.
- THESE DOCUMENTS DO NOT AUTHORIZE THE REMOVAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. THE DETERMINATION OF THE PRESENCE, AND/OR REMOVAL OF THESE MATERIALS IS THE RESPONSIBILITY OF OTHERS.
- PROVIDE A MINIMUM OF FOUR (4), 25 LB FIRE EXTINGUISHERS APPROVED FOR 'A', 'B' AND 'C' TYPE FIRES, TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN IN WORKING ORDER ON THE FLOORS WHEN CONTRACT WORK IS IN PROGRESS.
- GENERAL CONTRACTOR TO OBTAIN A DEMOLITION PERMIT OR CONSTRUCTION PERMIT PRIOR TO THE COMMENCEMENT OF WORK. A COPY OF SUCH DOCUMENTS SHALL BE FURNISHED TO THE BUILDING MANAGER, OWNER TENANT AND THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.

### ABBREVIATIONS

A/C	AIR CONDITIONING	HDR	HEADER
AC	ACOUSTICAL	HDW	HARDWARE
ACC	ACCESS	HM	HEIGHT
ACT	ACOUSTICAL TILE	HP	HIGH POINT
ADD	ADDENDUM	HT	HOLLOW METAL
ADJ	ADJACENT	HTG	HEATING
AFF	ABOVE FINISH FLOOR	HVAC	HEATING VENTILATION & AIR CONDITIONING
ALT	ALTERNATE	IG	ISOLATED GROUND
ALUM	ALUMINUM	IN	INCH
ARCH	ARCHITECT (URAL)	INSUL	INSULATION (D) (ION)
AWP	ACCOUSTICAL WALL PANEL	JC	JANITOR'S CLOSET
BD	BOARD	LAM	LAMINATE (D)
BLDG	BUILDING	LAV	LAVATORY
BLK	BLOCK	LVL	LIVELOAD
BO	BOTTOM OF	LP	LOW POINT
BRG	BEARING	MAX	MAXIMUM
BSMT	BASEMENT	MECH	MECHANICAL
CAB	CABINET	MFR (D)	MANUFACTURE (R) (D)
CB	CATCH BASIN	MIN	MINIMUM
CCTV	CLOSED CIRCUIT T.V.	MO	MASONRY OPENING
CEM	CEMENT	MTL	METAL
C	CARPET	N	NORTH
CI	CAST IRON	NIC	NOT IN CONTRACT
CL	CLOSET	NO	NUMBER
CLG	CEILING	NOM	NOMINAL
CLR	CLEAR (ANCE)	NTS	NOT TO SCALE
C.J.	CONTROL JOINT	OA	OVERALL
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CNTR	CONCRETE	OH	OVERHEAD
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONST	CONSTRUCTION	P	PAINT
CORR	CORRIDOR	PL	PLASTIC LAMINATE
CR	CHAIR RAIL	PTN	PARTITION
CT	CERAMIC TILE	PVC	POLYVINYL CHLORIDE
DEMO	DEMOLITION	R	RISER
DET	DETAIL	RAD	RADIUS
DEPT	DEPARTMENT	RD	ROOF DRAIN
DF	DRINKING FOUNTAIN	REF	REFERENCE
DIA	DIAMETER	REFG	REFRIGERATOR
DIAG	DIAGONAL	REINF	REINFORCED
DIM	DIMENSION	RES	RESILIENT
DIV	DIVISION	RFG	ROOFING
DL	DEAD LOAD	RFM	RECESSED FLOOR MAT
DN	DOWN	RM	ROOM
DP	DAMPPOOFING	RO	ROUGH OPENING
DR	DOOR	RT	RUBBER TREAD
DWG	DRAWING	S	SOUTH
DWR	DRAWER	SD	STORM DRAIN
E	EAST	SECT	SECTION
EA	EACH	SF	SQUARE FOOT
E.J.	EXPANSION JOINT	SIM	SIMILAR
ELEC	ELECTRIC (AL)	SPEC	SPECIFICATION
ELEV	ELEVATION	SPR	SPRINKLER
EMERG	EMERGENCY	SP	STARTING POINT
ENCL	ENCLOSE (ENCLOSURE)	SQ	SQUARE
EQ	EQUAL	ST	STONE
EW	EACH WAY	STD	STANDARD
EWC	ELECTRIC WATER COOLER	STL	STEEL
EXH	EXHAUST	STOR	STORAGE
EXIST	EXISTING	SUSP	SUSPENDED
EXT	EXTERIOR	T	TREAD
FD	FLOOR DRAIN	TEL (E)	TELEPHONE
FDN	FOUNDATION	THK	THICK (NESS)
FE	FIRE EXTINGUISHER	TO	TOP OF
FF	FINISHED FLOOR	TS	TRANSITION STRIP
FIN	FINISH (ED)	U.S.	UNDERSIDE
FIXT	FIXTURE	VCT	VINYL COMPOSITION TILE
FLF	FLOOR FINISH	VDT	VIDEO DISPLAY TERMINAL
FLR	FLOOR (ING)	VIF	VERIFY IN FIELD
FP	FIREPROOF	WC	WALL COVERING
FPPC	FIREPROOF SELF-CLOSING	W	WEST
FT	FEET	W/	WITH
FTG	FOOTING	WB	WALL BASE
GA	GAGE, GAUGE	WCL	WATER CLOSET
G.B.	GYPSUM BOARD	WD	WOOD
GC	GENERAL CONTRACT (OR)	WM	WIREMESH
GFI	GROUND FAULT INTERRUPT	W/O	WITHOUT
GL	GLASS, GLAZING	WP	WATERPROOFING
GR	GROUT	WWM	WELDED WIRE MESH
GYP	GYPSUM		
HC	HOLLOW CORE		

### BUILDING DEPARTMENT NOTES:

PROJECT SCOPE - EXTERIOR REPAIR TO EXISTING STAIR

- BUILDING OCCUPANCY - B BUSINESS

### APPLICABLE CODES:

REHABILITATION SUBCODE OF THE UNIFORM CONSTRUCTION CODE OF NEW JERSEY NJAC 5:23-6  
 2021 INTERNATIONAL BUILDING CODE-WITH NJ AMENDMENTS  
 2017 ICC/ANSI A117-1 BARRIER FREE CODE UCC-NJ 5:23  
 SUBCHAPTER 7  
 2021 INTERNATIONAL MECHANICAL CODE  
 2021 INTERNATIONAL FUEL GAS CODE  
 2019 ASHRAE 90.1 2019 ENERGY CONSERVATION  
 2020 NATIONAL ELECTRIC CODE  
 2017 INTERNATIONAL FIRE CODE  
 2021 NATIONAL STANDARD PLUMBING CODE  
 2021 NFPA 101 LIFE SAFETY CODE

### INSPECTIONS:

- CONTRACTOR(S) AND THEIR RESPECTIVE SUB CONTRACTORS AND/OR CONSULTANTS SHALL BE RESPONSIBLE FOR COORDINATING AND OBTAINING ALL REQUIRED BUILDING DEPARTMENT INSPECTIONS AND SIGN-OFFS FROM A CITY, TOWN, VILLAGE, OR COUNTY THAT IS RESPONSIBLE FOR ADMINISTRATION AND ENFORCEMENT OF THE BUILDING CODE OF NEW JERSEY STATE AND SUBMIT THIS INFORMATION/DOCUMENTATION TO THE ARCHITECT/ENGINEER OF RECORD.
- CONSULT THE MUNICIPALITY'S BUILDING DEPARTMENT FOR THE REQUIRED INSPECTIONS.

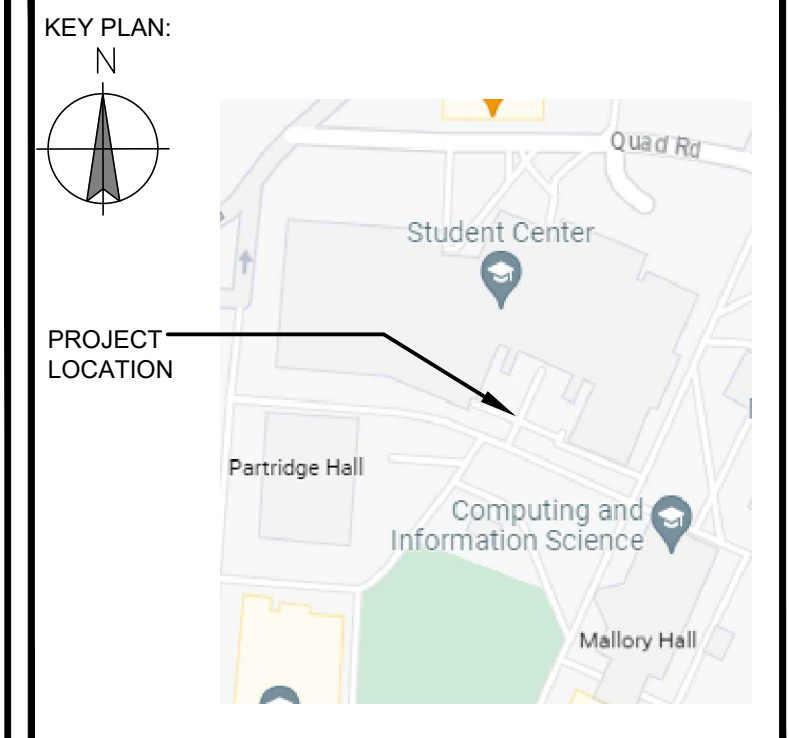
### DRAWING LIST:

#### ARCHITECTURAL

T-101.00	TITLE SHEET AND NOTES
A-101.00	REMOVAL PLAN
A-102.00	CONSTRUCTION PLAN
A-301.00	DETAILS

### ARCHITECTURAL SYMBOLS

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED GYP. BD. PARTITION
- PROPOSED LOW HEIGHT GYP. BD. PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR & FRAME TO BE REMOVED
- PROPOSED DOOR & FRAME
- PARTITION TYPE
- DOOR NUMBER
- WINDOW NUMBER
- KEYNOTE
- ROOM NAME
- ROOM NUMBER
- WORKSTATION NUMBER
- CENTER LINE
- PLATE
- AT
- ELEVATION NUMBER
- DRAWING SHEET
- SECTION LETTER
- DRAWING SHEET
- DETAIL NUMBER
- DRAWING SHEET
- LEVEL ELEVATION
- CEILING HEIGHT ABOVE FINISHED FLOOR
- START POINT
- COLUMN NUMBER



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REV.	DATE	DESCRIPTION

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MONTCLAIR STATE UNIVERSITY  
 STUDENT CENTER EXTERIOR STAIR  
 MSU PROJECT # 20C018

UPPER MONTCLAIR  
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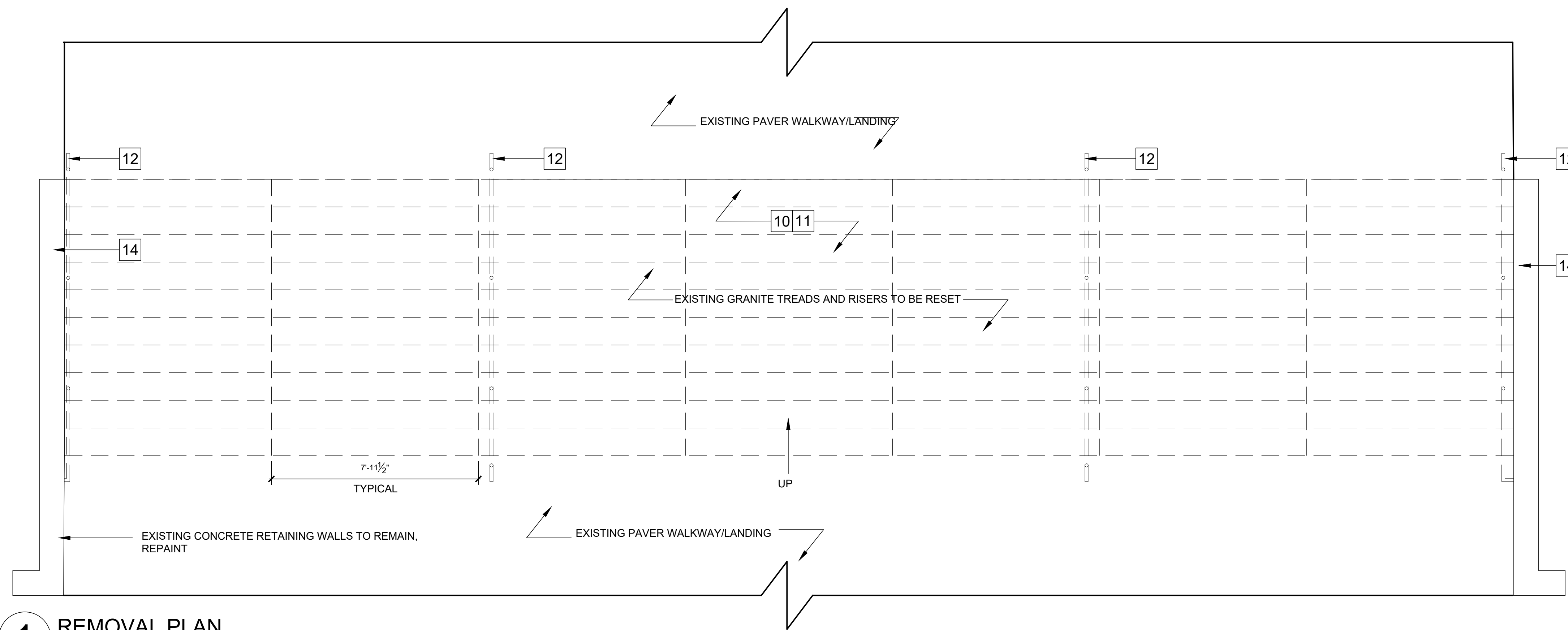
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DRAWING TITLE:

**TITLE SHEET AND NOTES**

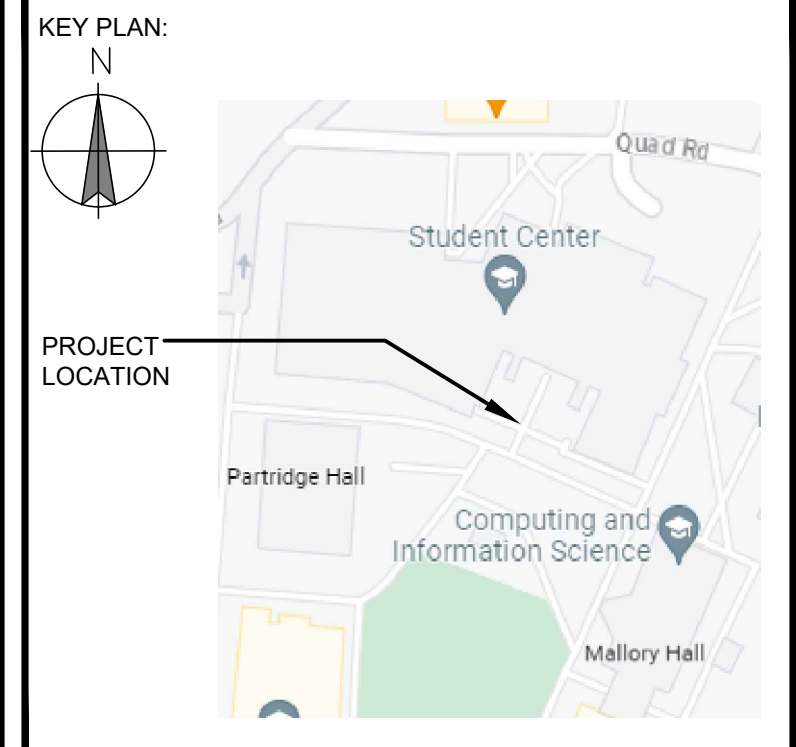
DRAWN BY: JL	DATE:
CHECKED BY: CR	SCALE: AS NOTED
FILE NAME: 23090.00-T1.01.DWG	JRS NUMBER: 23090.00
SHEET NUMBER: <b>T-101.00</b>	





**REMOVAL NOTES:**

1. REFER TO T-101.00 FOR ADDITIONAL INFORMATION AND LEGENDS.
2. PROVIDE PROPER BARRICADES AND SIGNAGE TO DIRECT STUDENTS AROUND AREA OF WORK. MEANS OF EGRESS FROM THE BUILDING SHALL NOT BE OBSTRUCTED. PHASE WORK AS REQUIRED TO ENSURE BUILDING IS NOT LEFT INACCESSIBLE.
3. ABIDE BY THE STANDARD RULES AND REGULATIONS SET FORTH BY THE BUILDING MANAGEMENT. G.C. SHALL NOTIFY OWNER AND/OR BUILDING MANAGEMENT OF NEED FOR ANY INTERRUPTIONS IN UTILITY SERVICE. NOTIFY OWNER AT LEAST 72 HOURS IN ADVANCE.
4. IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS AFTER A MAJOR DEMOLITION OPERATION BEFORE COMMENCEMENT OF THE NEXT NORMAL WORKING DAY.
5. DEMOLITION AND REMOVAL OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
6. DEMOLITION SHALL BE DONE IN A NEAT WORKMAN LIKE MANNER, WITHIN THE LIMITS INDICATED ON THE DRAWINGS, AND IN ALL CASES, TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
7. DO NOT MIX RUBBISH WITH THAT OF THE BUILDING OCCUPANTS. CONSTRUCTION DEBRIS TO BE REMOVED FROM THE SITE DAILY. COORDINATE LOCATION OF TRASH DUMPSTER WITH MSU.
8. REMOVE SETTLED OR RAISED PAVERS AT LANDINGS AND PREPARE A LEVEL SETTING BED FOR REINSTALLATION.
9. RAKE OUT ALL SEALANTS AND REPLACE WITH NEW.
10. CLEAN OUT ALL STAIR SETTING BEDS AND PREPARE FOR NEW GROUT.
11. GRANITE TREADS TO BE REMOVED AND SAVED FOR LATER USE. TAG TREAD LOCATIONS SO THEY CAN BE REINSTALLED IN THE PROPER LOCATIONS AND HOLES FOR RAILINGS CAN BE CORE DRILLED IN THE SAME SPOT FOR THE NEW HAND RAILS.
12. HANDRAIL TO BE REMOVED AND REPLACED WITH NEW.
13. CLEAN ALL MORTARS AND SEALANTS FROM EXISTING GRANITE TREADS AND RISERS.
14. EXISTING RETAINING WALLS, STRIP COATING AND PREPARE FOR PAINT.



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STUDENT CENTER EXTERIOR STAIR  
MSU PROJECT # 20C018

UPPER MONTCLAIR  
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**REMOVAL PLAN**

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FILE NAME: 23090.00-A-DEMO-1.01.DWG
JRS NUMBER: 23090.00
SHEET NUMBER: A-101.00

**1 REMOVAL PLAN**  
SCALE: 3/8" = 1'-0"



**2 PHOTO-TREAD REMOVAL**  
SCALE: NTS



**4 PHOTO-STAIRS**  
SCALE: NTS

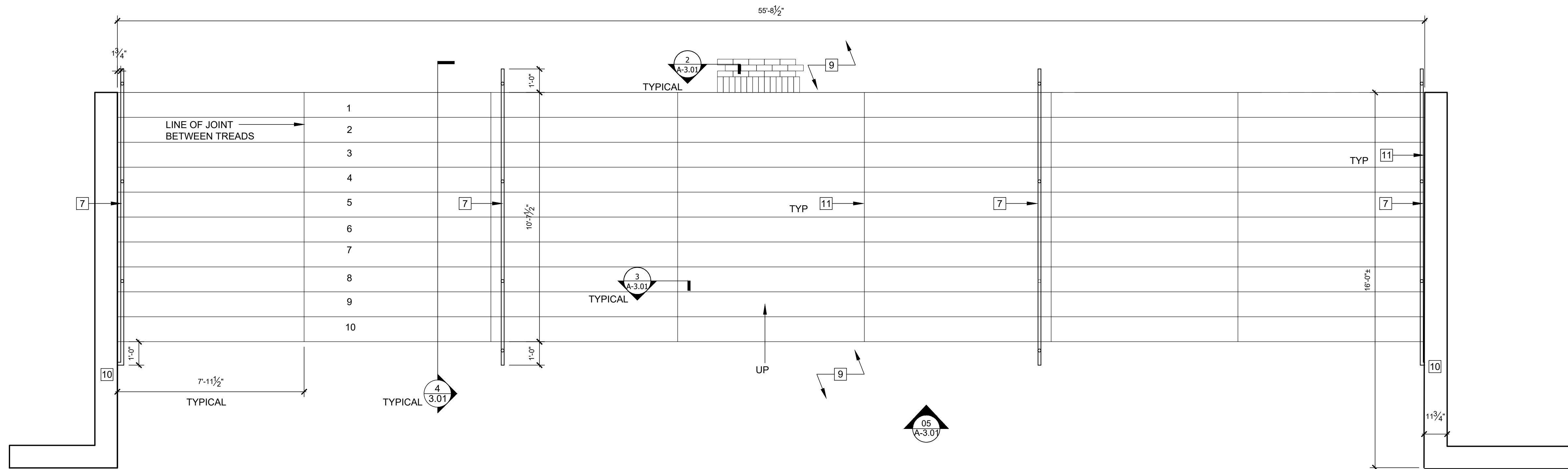


**3 PHOTO-TOP LANDING**  
SCALE: NTS



**5 PHOTO-RISERS**  
SCALE: NTS

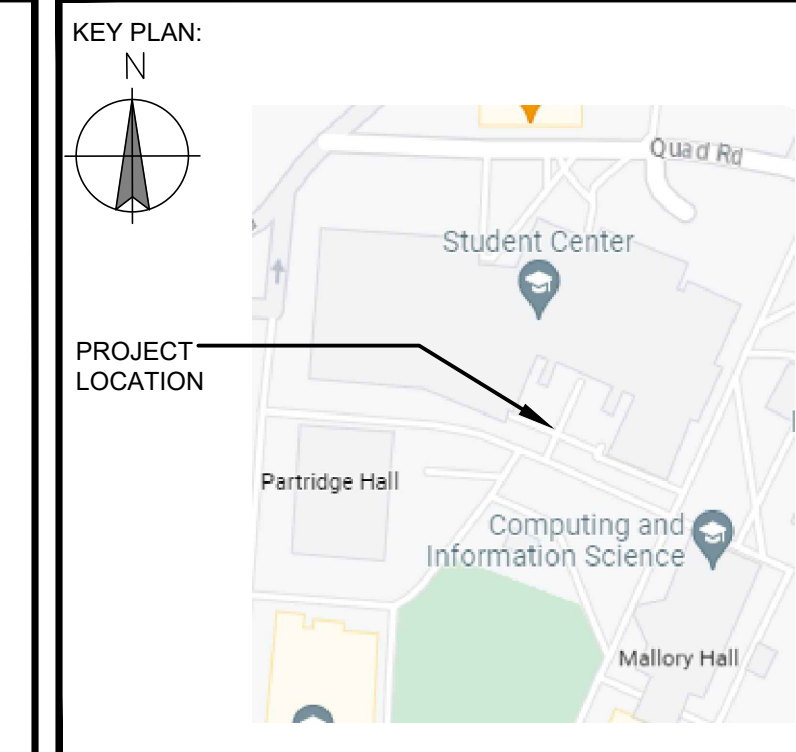




**1 CONSTRUCTION PLAN**  
SCALE: 3/8" = 1'-0"

**CONSTRUCTION NOTES:**

1. REFER TO T1.01 FOR ADDITIONAL INFORMATION AND LEGENDS.
2. PROVIDE A MINIMUM OF TWO (2), 25 LB FIRE EXTINGUISHERS APPROVED FOR 'A', 'B' AND 'C' TYPE FIRES, TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN IN WORKING ORDER ON THE FLOORS WHEN CONTRACT WORK IS IN PROGRESS.
3. DO NOT MIX RUBBISH WITH THAT OF THE BUILDING OCCUPANTS. CONSTRUCTION DEBRIS TO BE REMOVED FROM THE SITE DAILY. COORDINATE LOCATION OF TRASH DUMPSTERS WITH MSU.
4. ABIDE BY THE STANDARD RULES AND REGULATIONS SET FORTH BY MSU.
5. AS PART OF THIS CONTRACT, GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ADDRESS ALL CONDITIONS RELATED TO THE SCOPE OF WORK.
6. VERIFY ALL DIMENSIONS, BOTH HORIZONTAL AND VERTICAL, PRIOR TO CONSTRUCTION IN ALL AREAS OF PROJECT. NOTIFY ARCHITECT IF ANY DISCREPANCIES SHOULD OCCUR.
7. INSTALL NEW 1 1/2" Ø STEEL PIPE POWDER COATED BLACK RAILINGS EPOXIED INTO PLACE. RAILINGS SHALL REUSE PREVIOUS LOCATIONS FOR RAILING POSTS. WHERE ADJACENT TO WALLS ANCHOR ENDS TO THE CONCRETE SURFACE WITH SS CONCRETE ANCHORS.
8. EXISTING GRANITE TREADS WHERE DAMAGED OR SPALLED TO BE FLIPPED OVER FOR REUSE. GRANITE TREADS SHALL BE GROUTED IN PLACE.
9. INSTALL NEW SETTING BED FOR PAVERS AT LANDINGS AND RESET PAVERS FOR AN EVEN SURFACE FREE OF DEPRESSIONS AND LIPS. INSTALL NEW POLYMERIC SAND INTO JOINTS MATCHING TO EXISTING. AT TOP LANDING THE GREY PAVERS.
10. PREPARE AND PAINT CONCRETE RETAINING WALLS FOR THE SURFACE THAT FACES THE STAIRS END TO END AND TOP FACE. COLOR SHALL MATCH EXISTING. PAINT 2 COATS OF SHERWIN WILLIAMS LOXON XP. ALL SURFACES TO BE STRIPPED OF PAINT EFFORELSCENT AND ANY OTHER DEBRI THAT WOULD INHIBIT THE PROPER ADHESION OF THE COATING.
11. EXPANSION JOINTS BETWEEN TREADS SHALL BE 3/8" WIDE AND FILLED WITH FRICTION FIT BACKER ROD AND FINISHED WITH NON SAG SEALANT, SIKAFLEX-2C NS EZ MIX POLYURETHANE ELASTOMETRIC SEALANT. COLOR: TO BE CUSTOM MATCHED TO GRANITE COLOR. PREP. JOINT PER MANUF. INSTRUCTIONS.



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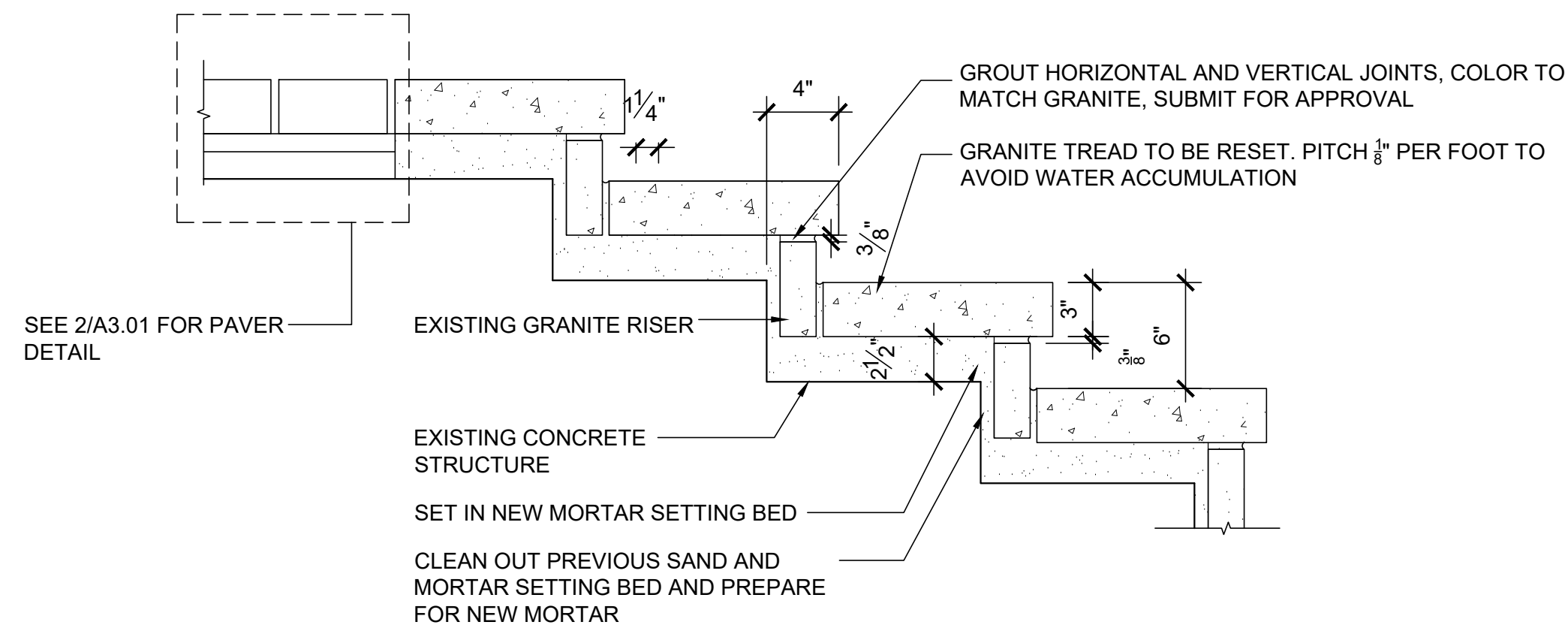
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**CONSTRUCTION PLAN**

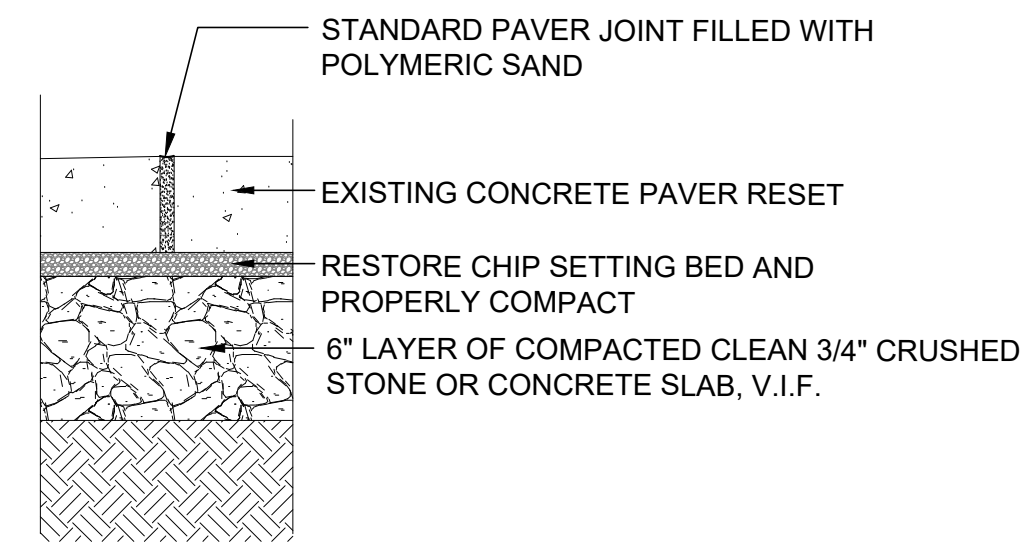
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SHEET NUMBER: <b>A-102.00</b>



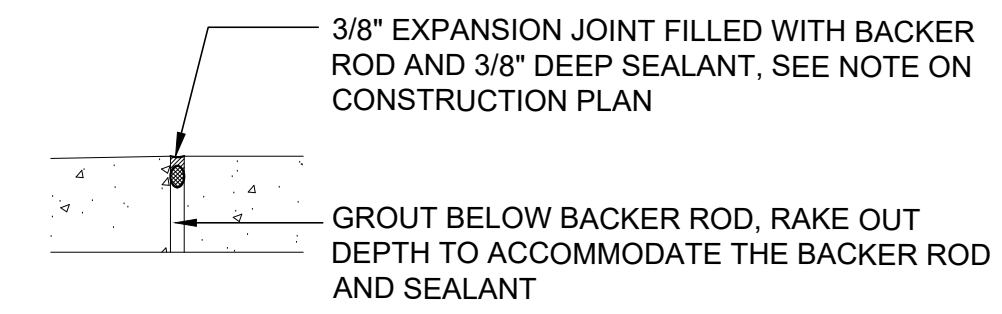
**1 STEP DETAIL**

SCALE: 1 1/2" = 1'-0"



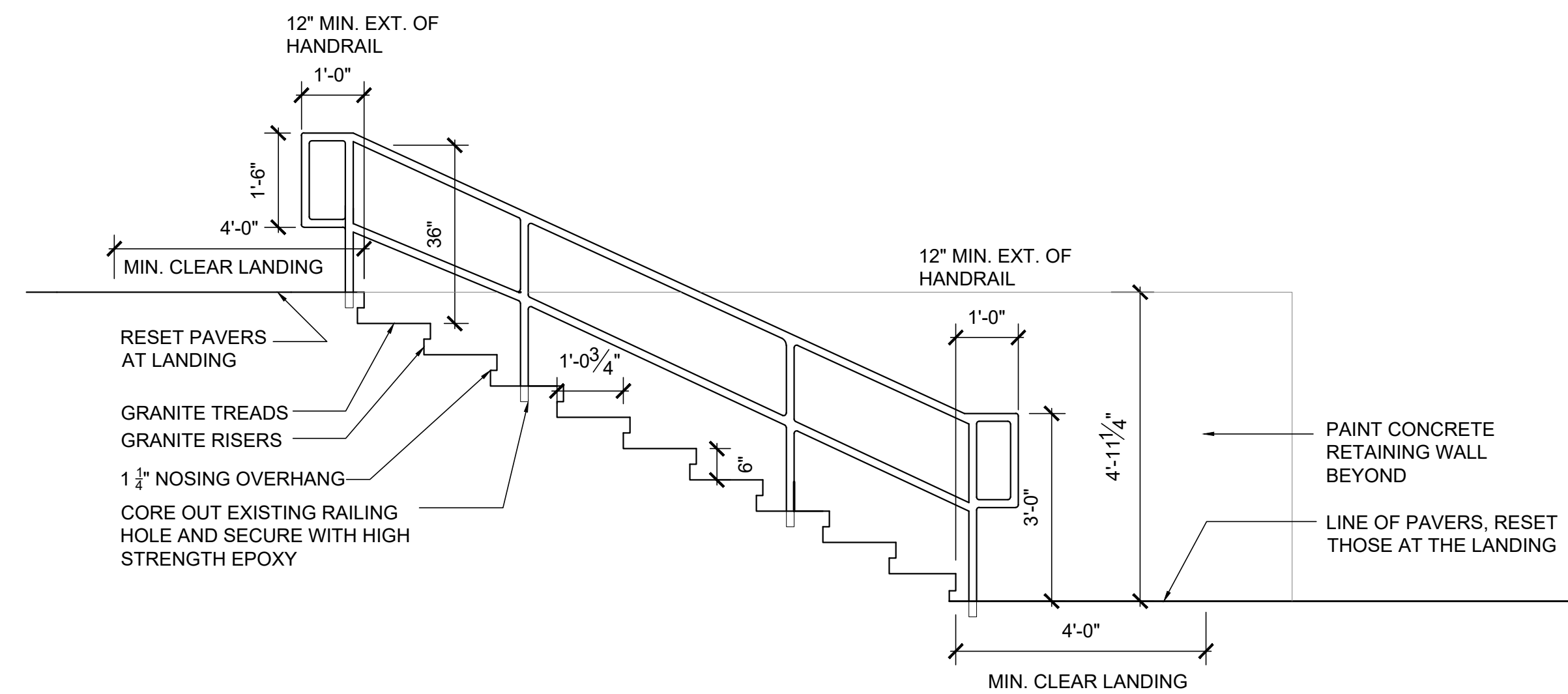
**2 PAVER DETAIL**

SCALE: 1 1/2" = 1'-0"



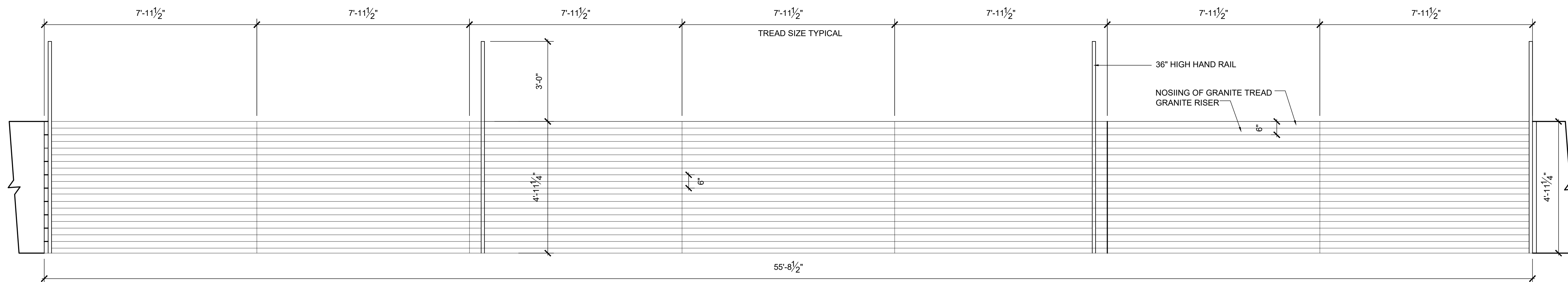
**3 JOINT DETAIL AT TREADS**

SCALE: 1 1/2" = 1'-0"



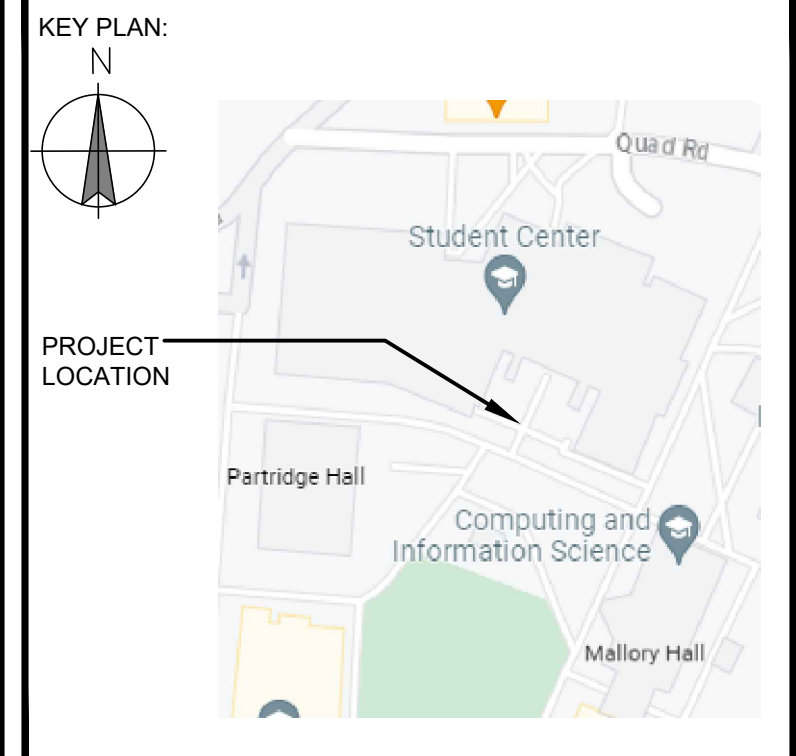
**4 STAIR CROSS SECTION**

SCALE: 1/2" = 1'-0"



**5 STAIR ELEVATION**

SCALE: 1 1/2" = 1'-0"



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CHECKED BY: CR	SCALE: AS NOTED

FILE NAME:  
23090.00-A-DETAILS.DWG

JRS NUMBER:  
23090.00

SHEET NUMBER:  
A-301.00