

MONTCLAIR STATE UNIVERSITY:  
VILLAGE AT LITTLE FALLS COUNT BASIE HALL KITCHEN RENOVATIONS  
45 CLOVE ROAD,  
LITTLE FALLS, NEW JERSEY, 07424

CTS

POSEN ARCHITECTS, LLC

Architects • Interiors • Planning • Regulatory Approvals

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222 Mamaroneck Avenue

[illegible]









<b>Posen Project No.:</b> 25100		
<b>Submission:</b>  ISSUED FOR BID		
<b>Drawing:</b>  FIRST FLOOR REMOVALS PLAN		
<b>Drawn By:</b> YA	<b>Checked By:</b> TF	<b>Date:</b> 09.16.2025
<b>Scale:</b> 1/8" = 1'-0"	<b>Dwg No./Issue No.:</b> D-101.00	<b>Drawing:</b> 3 of 8





<b>Posen Project No.:</b> 25100			
<b>Submission:</b> ISSUED FOR BID			
<b>Drawing:</b> TYPICAL FLOOR REMOVALS PLAN			
<b>Drawn By:</b> YA	<b>Checked By:</b> TF	<b>Date:</b> 09.16.2025	
<b>Scale:</b> 1/8" = 1'-0"	<b>Dwg No./Issue No.:</b> D-102.00	<b>Drawing:</b> 4	of 8





NORTH

## KEY NOTES

1. ANY APPLIANCES REMAINING ONSITE AT THE START OF CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.

- ① INSTALL NEW CABINETS, COUNTER TOPS AND APPLIANCES. COORDINATE WALL BLOCKING & POWER AS REQUIRED
- ② INSTALL FA-1 TRANSITION STRIPS BELOW DOORS TO COMMON CORRIDOR & BEDROOMS.
- ③ PAINT ALL WALLS WITHIN KITCHEN EXTENTS AND IN COMMON SPACES WHERE FLOORING IS BEING REPLACED.



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**Client:**

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## Project

THE VILLAGE:  
COUNT BASIE HALL KITCHEN RENOVATIONS  
MSU PROJECT # PR25C020

**Seal:**

<b>Posen Project No.:</b> 25100	
<b>Submission:</b> ISSUED FOR BID	
<b>Drawing:</b> FIRST FLOOR CONSTRUCTION PLAN	
<b>Drawn By:</b> YA	<b>Checked By:</b> TF
<b>Date:</b> 09.16.2025	
<b>Scale:</b> 1/8" = 1'-0"	<b>Dwg No./Issue No.:</b> A-101.00
<b>Drawing:</b> 5 of 8	





## KEY NOTES

- |  |   |
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| <p>1. ANY APPLIANCES REMAINING ONSITE AT THE START OF CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.</p> | <p>① INSTALL NEW CABINETS, COUNTER TOPS AND APPLIANCES. COORDINATE WALL BLOCKING &amp; POWER AS REQUIRED.</p> <p>② INSTALL FA-1 TRANSITION STRIPS BELOW DOORS TO COMMON CORRIDOR &amp; BEDROOMS.</p> <p>③ PAINT ALL WALLS WITHIN KITCHEN EXTENTS AND IN COMMON SPACES WHERE FLOORING IS BEING REPLACED.</p> |
|--|---|

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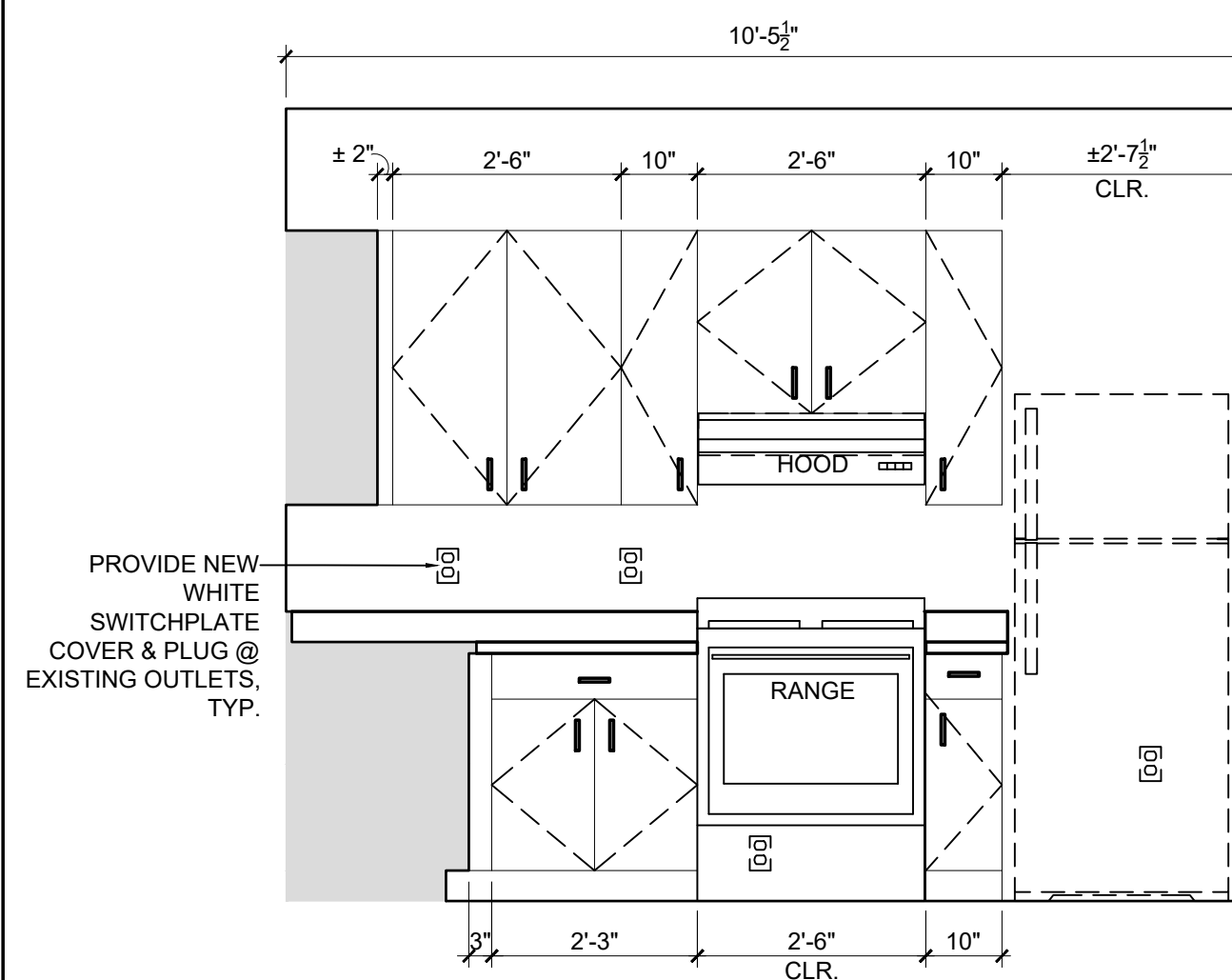
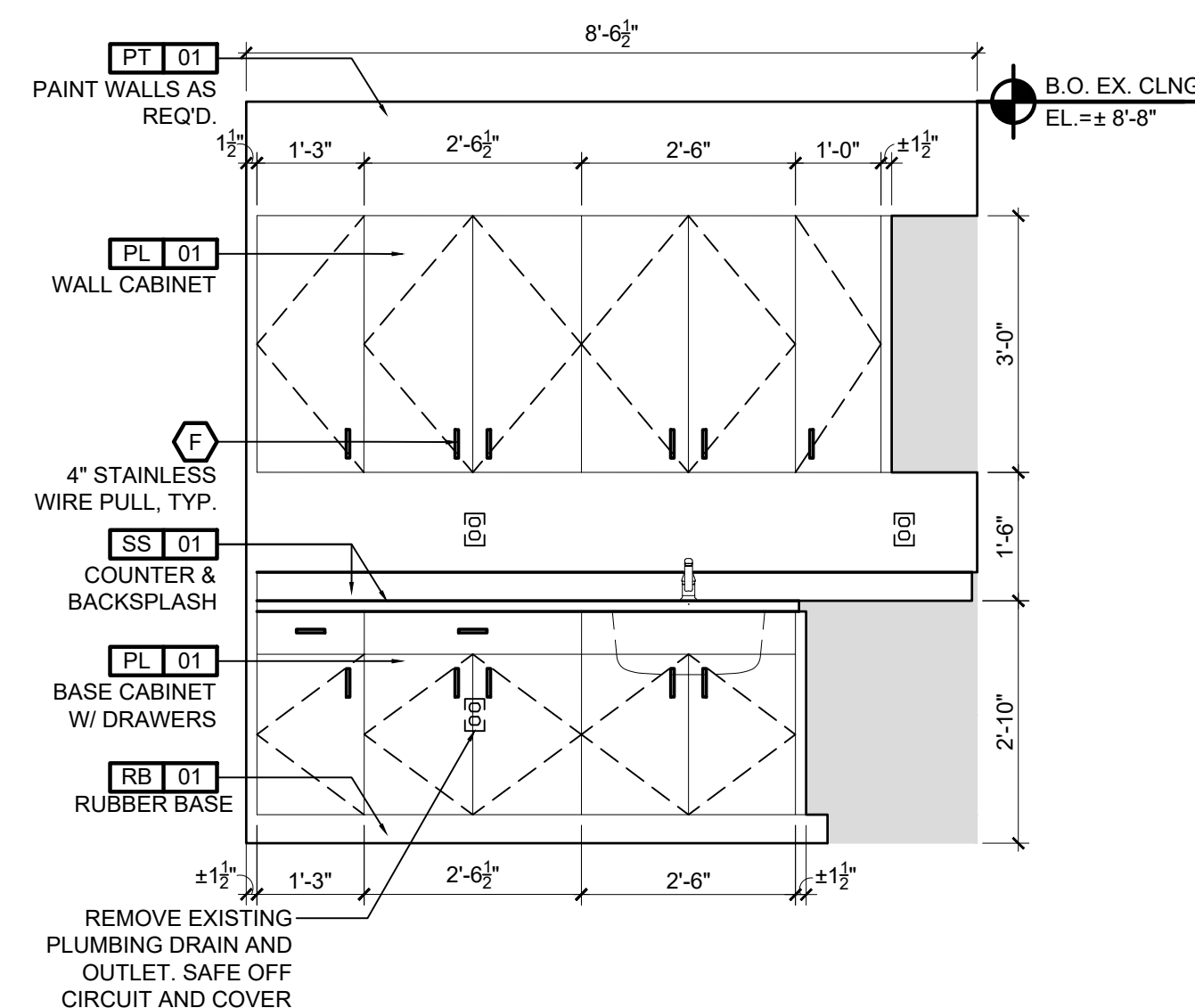
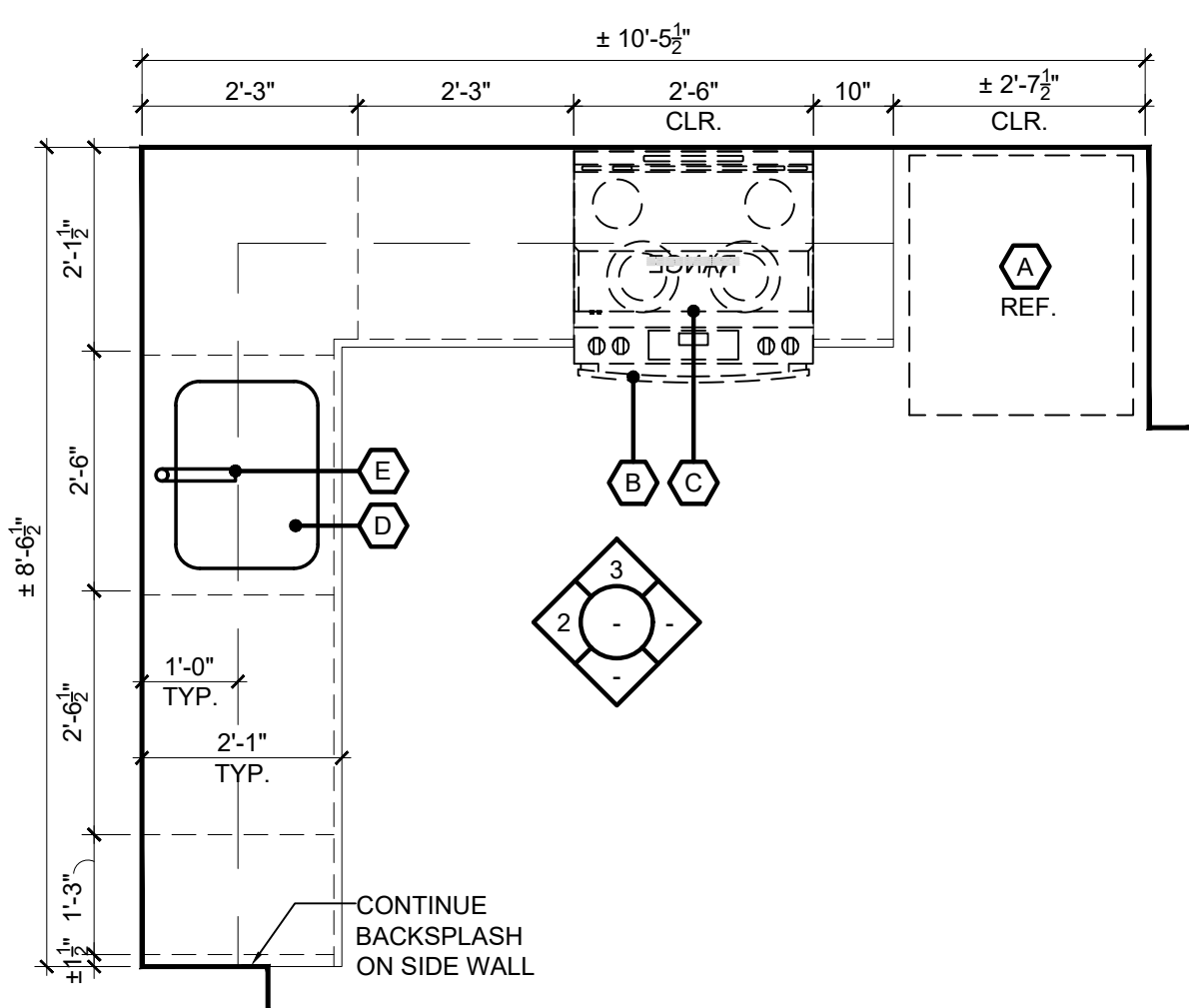
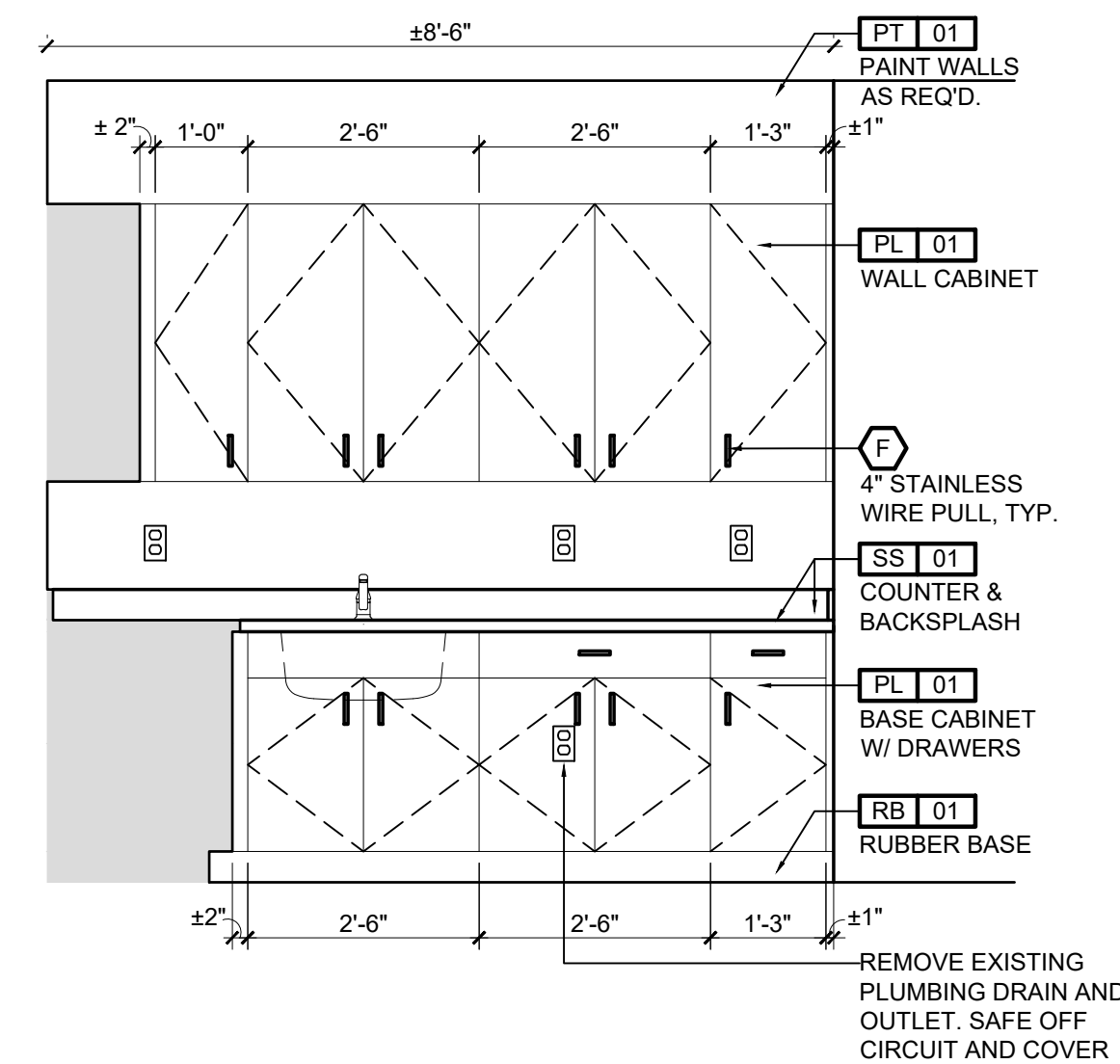
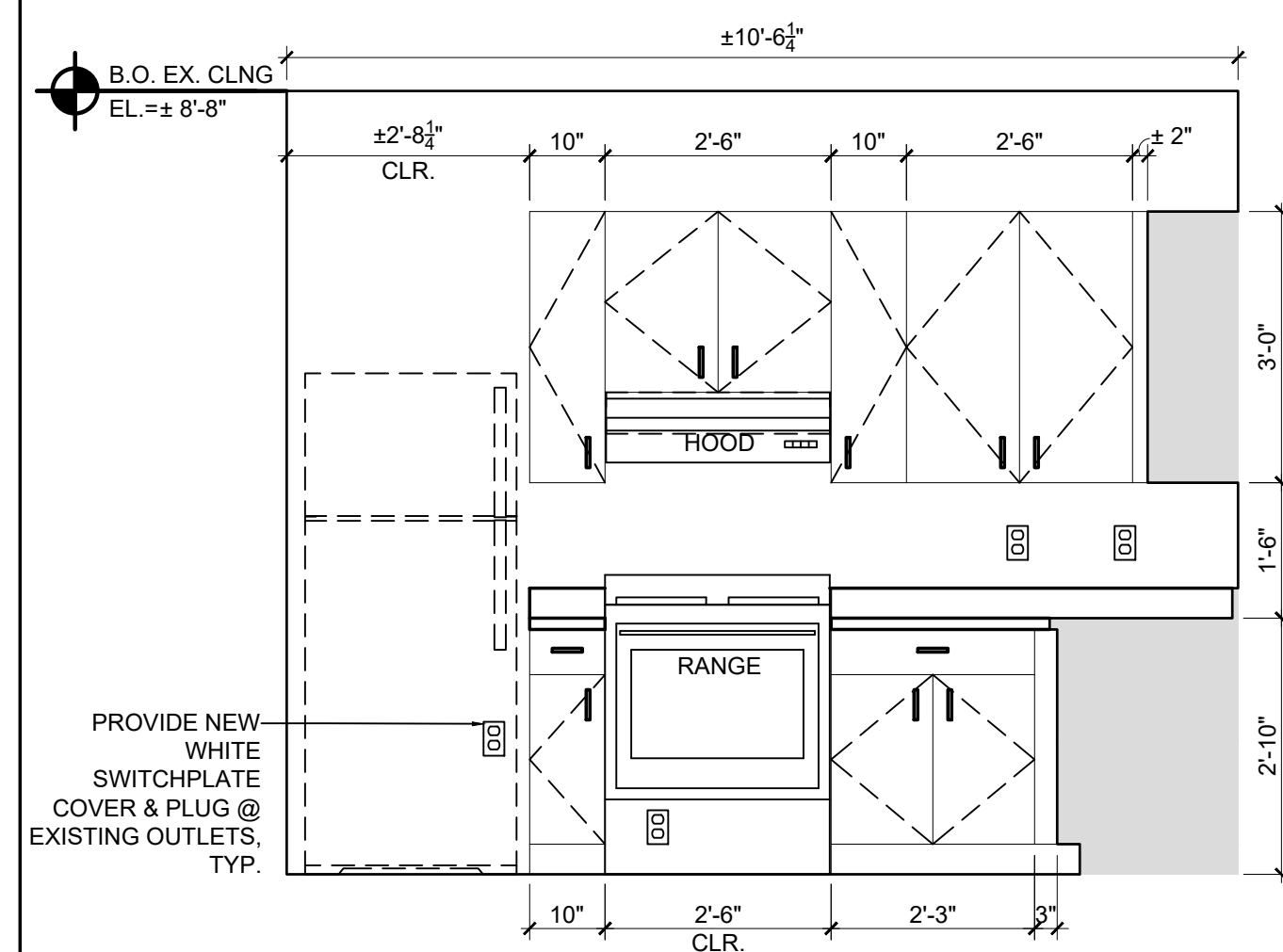
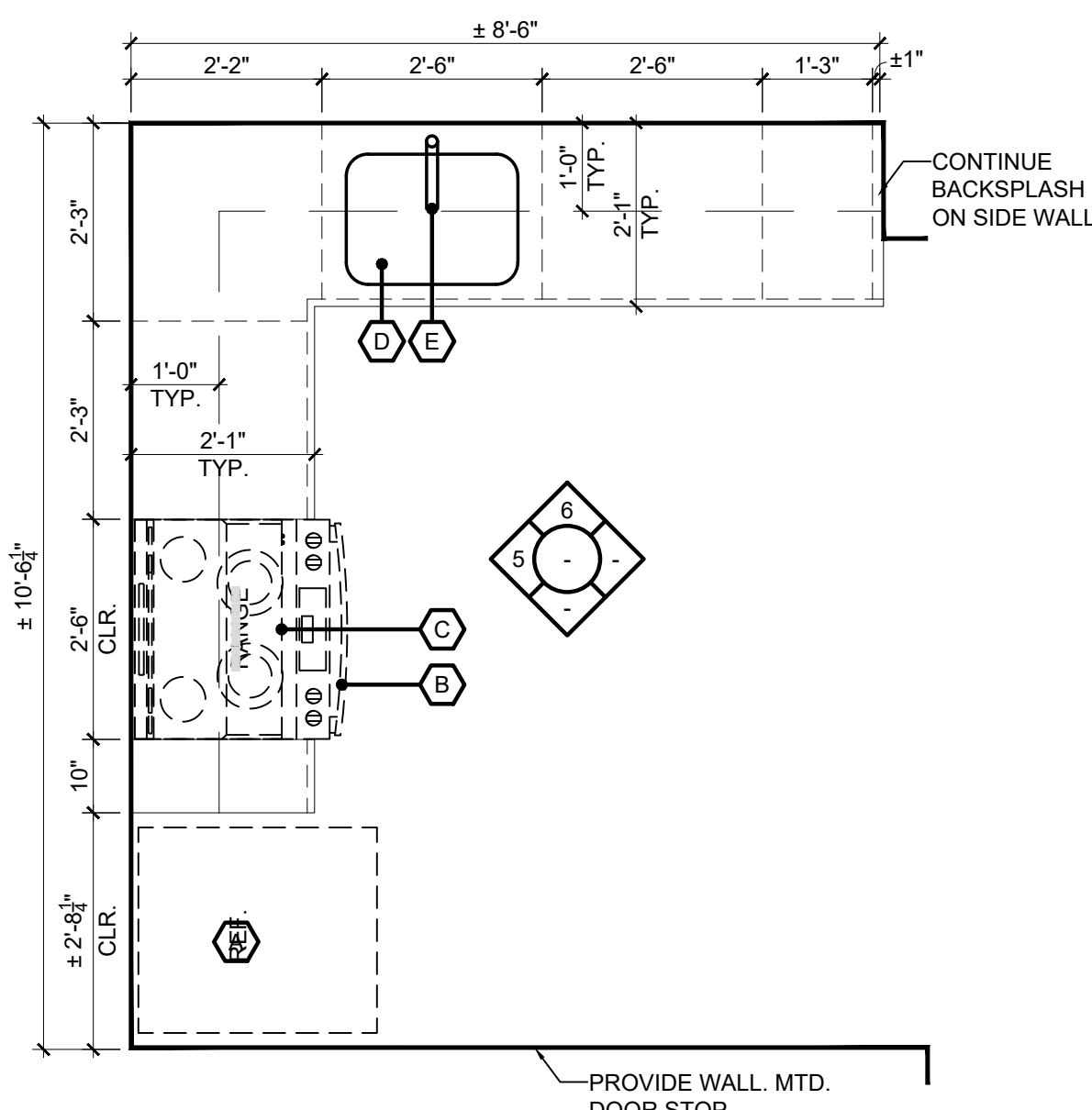
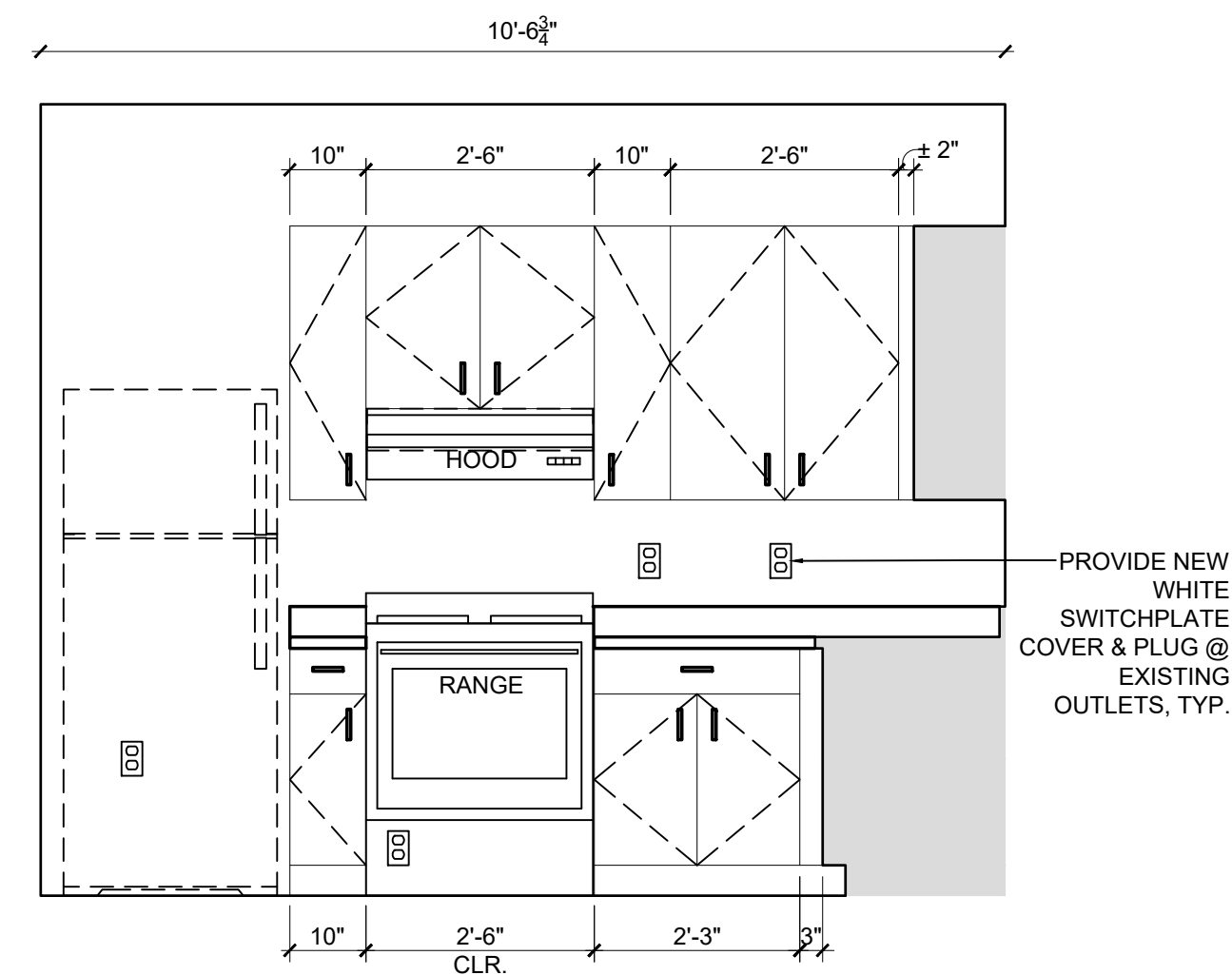
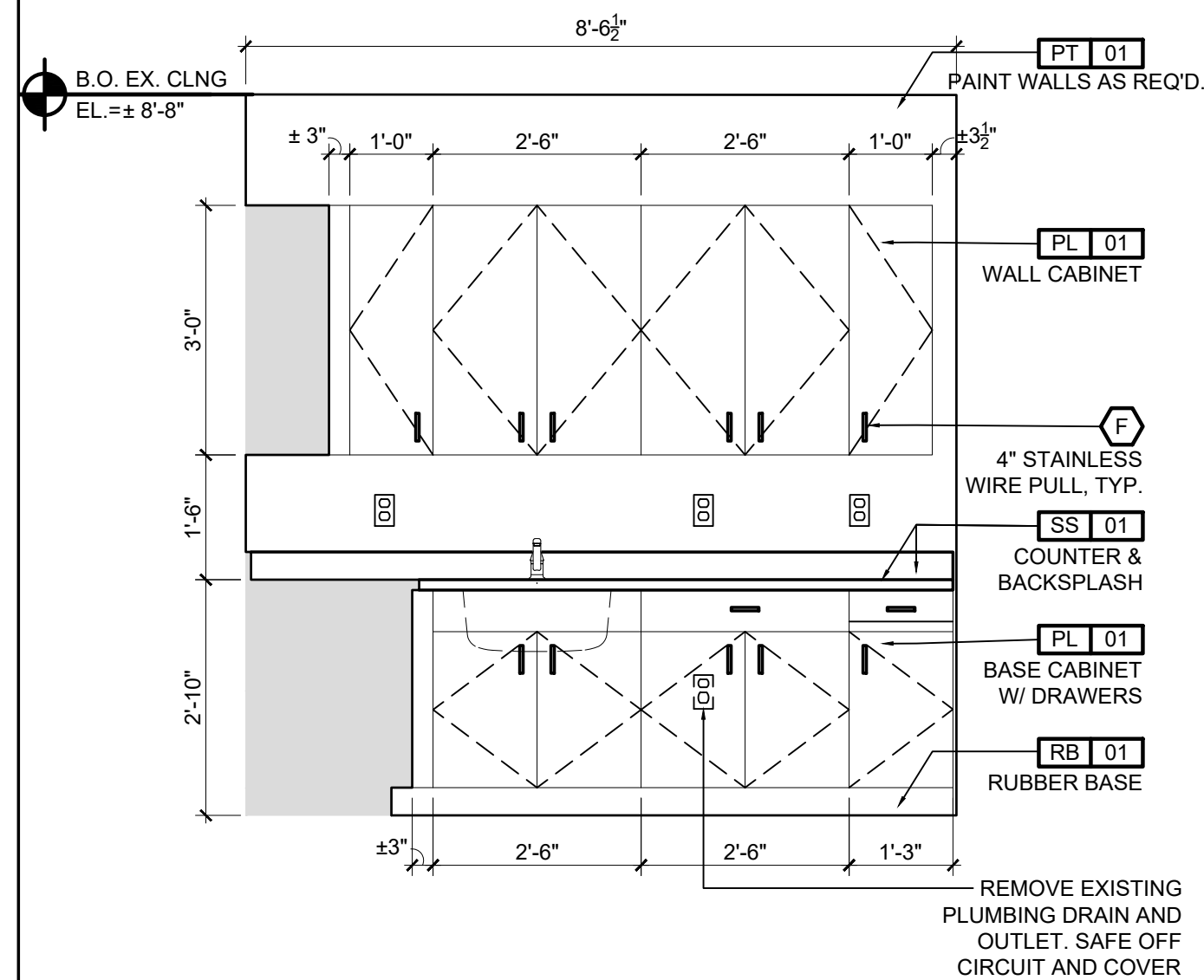
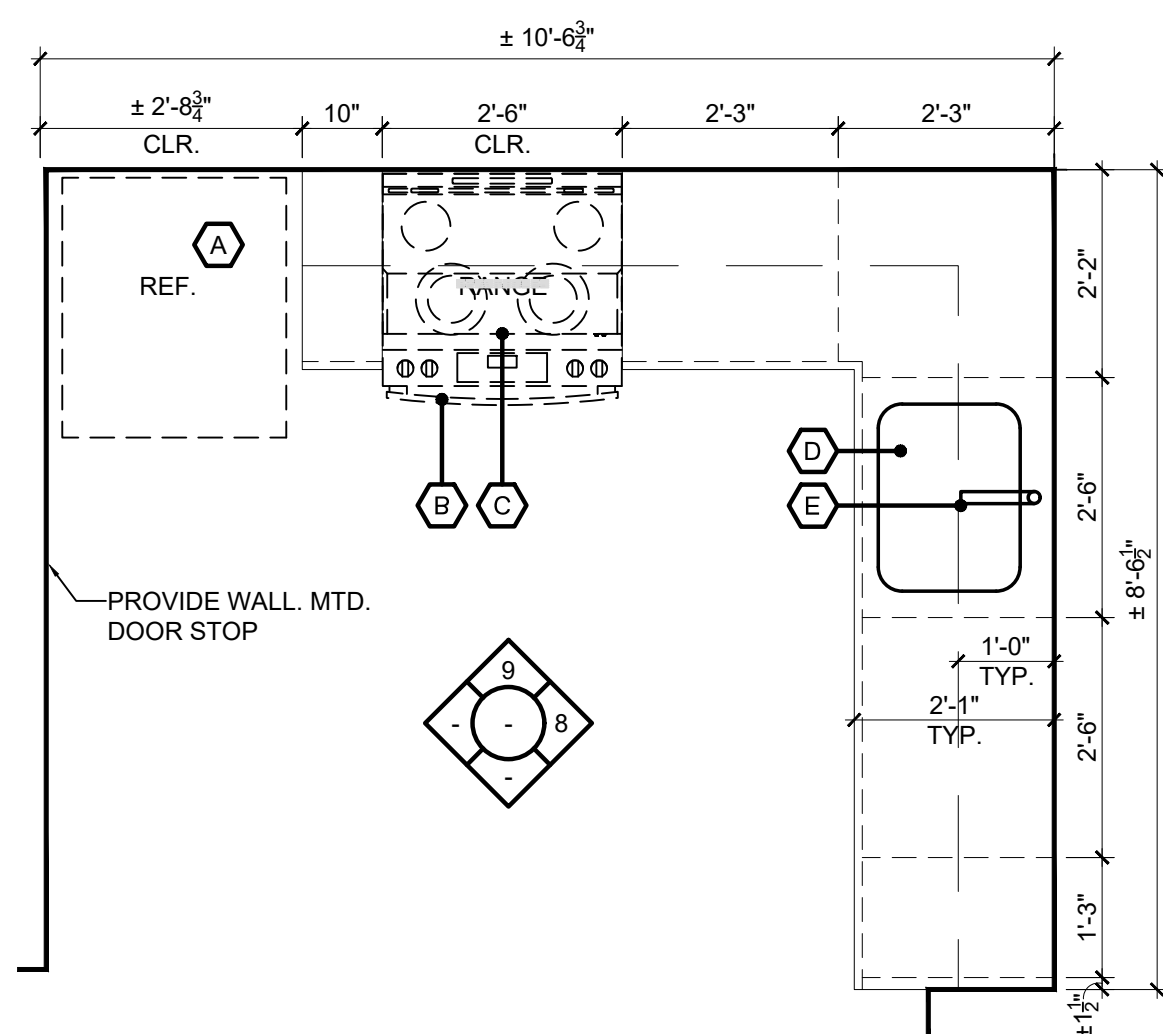
Project:

THE VILLAGE:  
COUNT BASIE HALL KITCHEN RENOVATIONS  
MSU PROJECT # PR25C020

Seal:

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<b>Scale:</b> 1/8" = 1'-0"	<b>Dwg No./Issue No.:</b> A-102.00	<b>Drawing:</b> 6 of 8





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Real:

Chosen Project No.: 25100			
Submission: ISSUED FOR BID			
Drawing: TYP. KITCHEN SECTION DETAIL			
Drawn By: YA	Checked By: TF	Date: 09.16.2025	
Scale: 1/8" = 1'-0"	Dwg No./Issue No.: A-701.00	Drawing: 8 of 8	