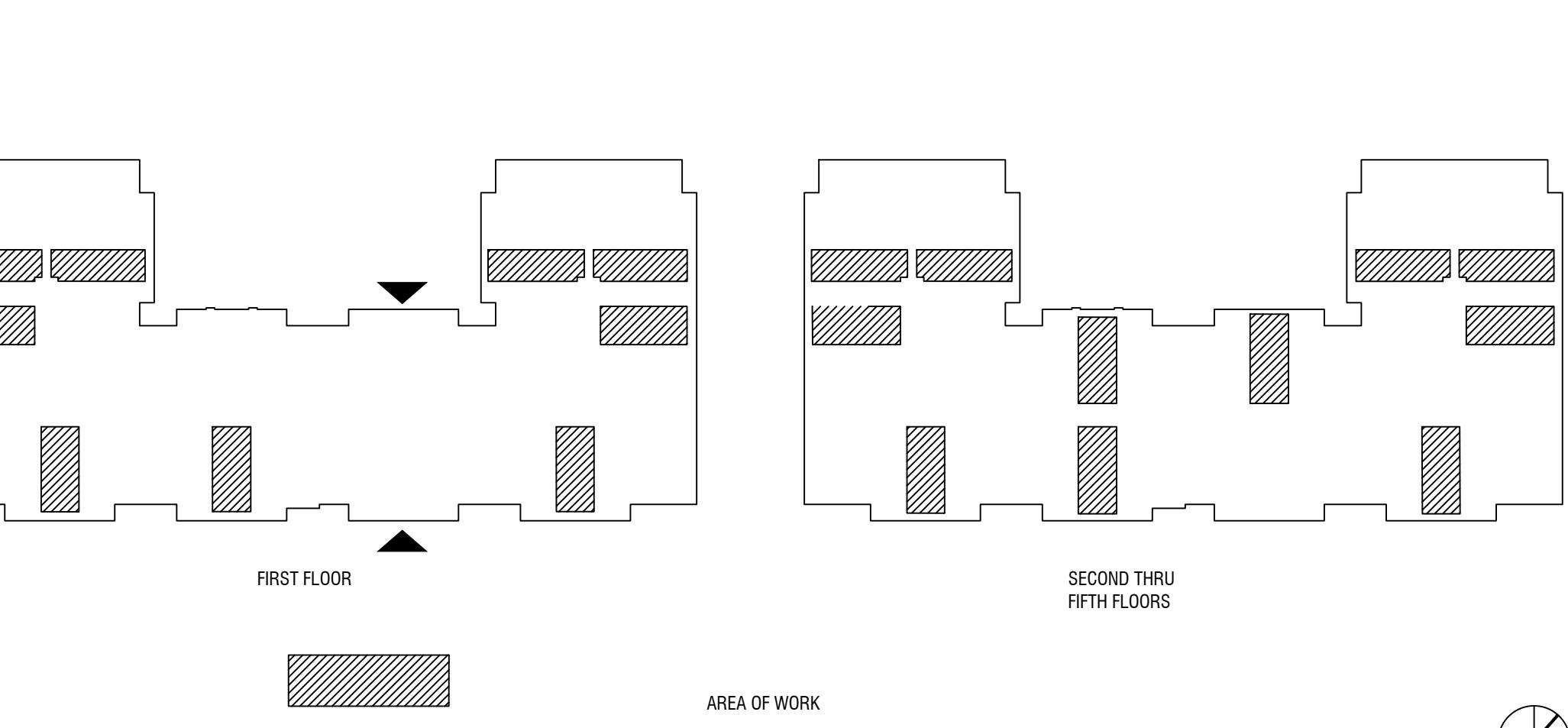


MONTCLAIR STATE UNIVERSITY: VILLAGE AT LITTLE FALLS FENWICK HALL KITCHEN RENOVATIONS

GENERAL CONDITIONS		GENERAL NOTES	CODES, REGULATIONS, AND PROJECT DATA	SCOPE OF WORK	DRAWING LIST	
FIELD CONDITIONS: CONTRACTOR SHALL VERIFY ALL CONDITIONS, AS WELL AS ALL DIMENSIONS & CONDITIONS INDICATED ON THE DRAWINGS, PRIOR TO ACTUAL CONSTRUCTION. ANY VARIATION FROM CONDITIONS INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.		1. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, MUNICIPAL, STATE, AND FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING AGENCIES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS. 2. THE GENERAL CONTRACTOR SHALL APPLY FOR & OBTAIN ALL LEGAL REQUIRED APPROVALS & PERMITS NECESSARY FOR THE EXECUTION & COMPLETION OF ALL THEIR WORK. 3. EACH SUB-CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL NOTIFY THE ARCHITECT OR LANDLORD OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, NOTES, & FIELD CONDITIONS BEFORE COMMENCING ANY WORK. 4. BEFORE SUBMITTING A PROPOSAL, THE GENERAL CONTRACTOR SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS & SATISFY THEMSELVES AS TO THE NATURE & SCOPE OF THE WORK & THE DIFFICULTIES THAT ATTEND TO ITS EXECUTION. 5. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH & WASTE MATERIALS TO CONTRACTOR SUPPLIED DUMPSTERS, BOTH FROM THEIR OWN & ALL OTHER SUB-CONTRACTORS EMPLOYEES INCLUDING THE RUBBISH THAT IS A BY-PRODUCT OF CARPET, CABINET & TELECOMMUNICATIONS INSULATION ETC. 6. THE GENERAL CONTRACTOR SHALL PROVIDE & INSTALL FIRE EXITING AS REQUIRED BY THE OCCUPATIONAL SAFETY & HEALTH ACT (OSHA) & BY FIRE DEPARTMENT REGULATIONS. THE GENERAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL (BATTERY OPERATED) EMERGENCY LIGHTING FIXTURES & EXIT SIGNS REQUIRED DUE TO CHANGE IN LAYOUT, OR AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT. 7. ALL LOCK SETS SHALL BE CODED AND/OR KEYED IN ACCORDANCE WITH THE BUILDING REQUIREMENTS. CODES AND/OR KEYS ARE TO BE DELIVERED TO THE TENANT PROPERLY TESTED AND/OR TAGGED. PROVIDE THREE (3) PASS KEYS FOR EACH LOCK. 8. CONTRACTOR SHALL PATCH ALL CUTTING BY MECHANICAL AND ELECTRICAL TRADES AND ALL ADDITIONAL CUTTING BY OTHERS. MATCH ADJACENT MATERIALS AND FINISHES. 9. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ANGLES, STRUTS, BRACKETS, WALL BLOCKING, TOGGLES, EYE BOLTS, ETC. WHEREVER NECESSARY TO PROPERLY SUPPORT, BRACE, OR REINFORCE ALL FINISHES, FRAMES, EQUIPMENT, ETC. 10. ALL PIPE SPACES AND DUCT SPACES SHALL BE ENCLOSED AND FIRE STOPPED BY A PARTITION OF THE REQUIRED RATING. 11. ALL ELECTRICAL OUTLETS, PLUMBING FIXTURES, PLUMBING AND HVAC PIPING, DUCTWORK, REGISTERS, AND GRILLES SHOWN ON THE ARCHITECTURAL DRAWINGS ARE INDICATED TO SET THE GENERAL LOCATION FOR SUCH COMPONENTS ONLY. 12. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ENCLOSURES NECESSARY TO FURR IN PIPES AND CHASES OR TO CONTINUE THE NORMAL LINE OF WALLS AND PARTITIONS. 13. PARTITIONS SHALL BE CONTINUOUS OVER ALL BUILT-IN EQUIPMENT WHERE SHOWN ON PLANS AND DETAILS. FURNISH NECESSARY ANGLES, HANGERS, ETC. TO CARRY THESE PARTITIONS. 14. ALL NEW PIPING AND ELECTRICAL CONDUITS SHALL BE CONCEALED WITHIN NEW PARTITIONS, UNLESS OTHERWISE NOTED. 15. ALL OPENINGS IN MASONRY WALLS, IF ANY, SHALL BE SUPPORTED BY PAINTED STEEL ANGLE LINTELS. 16. GENERAL CONTRACTOR TO TAKE ALL NECESSARY MEASURES TO PREVENT DAMAGE TO ANY ADJACENT PROPERTY OR PERSONS. 17. CONTRACTOR TO INSTALL FIRE RATED DRYWALL OVER EXPOSED STEEL STRUCTURE ON EXTERIOR WALL. FIRE RATING TO MEET CODE REQUIREMENTS. 18. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS SUBMITTED IN WRITING TO THE ARCHITECT OR LANDLORD. 19. THE GENERAL CONTRACTOR SHALL PROVIDE SUBMITTALS FOR EACH ELEMENT OF MATERIALS AND PRODUCTS USED FOR GENERAL CONSTRUCTION, MEP EQUIPMENT AND DEVICES, AND STRUCTURAL WORK AS PER THE SCOPE OF WORK OUTLINED IN THE CONTRACT DRAWINGS. SUBMITTALS INCLUDE PRODUCT DATA AND SAMPLES WHERE APPLICABLE. PRODUCT DATA INCLUDES, AMONG OTHER INFORMATION, PRINTED INFORMATION SUCH AS MANUFACTURER'S INSTALLATION INSTRUCTIONS, CATALOG CUTS, STANDARD COLOR CHARTS, ROUGHING-IN DIAGRAMS AND TEMPLATES, STANDARD WIRING DIAGRAMS AND PERFORMANCE CURVES. THE CONTRACTOR SHALL SUBMIT SIX (6) COPIES OF ALL PRODUCT DATA. SAMPLES TO BE PROVIDED FOR COLOR VERIFICATION. SUBMIT FULL-SIZE UNITS WHERE POSSIBLE, OR A MINIMUM SIZE OF 6"x6" FOR PARTIAL SECTIONS OR SWATCHES OF MATERIALS. THE CONTRACTOR SHALL SUBMIT THREE (3) COPIES OF ALL SAMPLES. 20. THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT IN WRITING OF ANY ADAPTATIONS TO THESE DRAWINGS OR SPECIFICATIONS REQUIRED BY LOCAL LIFE & SAFETY CODES OR ANY OTHER GOVERNMENT AGENCY. 21. ALL NEW WORK SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE STATUTES. 22. ALL CONSTRUCTION & SUB-CONTRACTED WORK IS TO BE PERFORMED BY CONTRACTORS LICENSED IN THE STATE WHERE THE WORK IS BEING DONE. 23. CONTRACTOR TO CONFORM WITH LANDLORD & BUILDING OWNER'S DELIVERY & PARKING RULES & REGULATIONS. 24. CONTRACTOR TO CONFORM WITH LANDLORD & BUILDING OWNER'S BUILDING PROTECTION FOR DELIVERY TO THE SITE & STORAGE OF ALL CONSTRUCTION MATERIALS. 25. CONTRACTOR SHALL FOLLOW FACILITIES STANDARD INFECTION CONTROL PROCEDURES.	APPLICABLE CODES: ALL WORK SHALL CONFORM TO: BUILDING SUBCODE INTERNATIONAL BUILDING CODE 2021 (NJ EDITION) NJAC 5:23-3.14 INTERNATIONAL FIRE CODE 2021 REHABILITATION SUBCODE NJUCC, SUBCHAPTER 6 NJAC 5:23-6 BARRIER FREE SUBCODE NJ IBC CHAPTER 11, NJAC 5:23-7, ICC / ANSI A117.1-2017 NJAC 5:23-7 PLUMBING SUBCODE NATIONAL STANDARD PLUMBING CODE 2021 NJAC 5:23-3.15 ELECTRICAL SUBCODE NATIONAL ELECTRICAL CODE (NFPA 70) / 2020 NJAC 5:23-3.16 ENERGY SUBCODE ASHRAE 90.1 - 2021 NJAC 5:23-3.18 MECHANICAL SUBCODE INTERNATIONAL MECHANICAL CODE 2021 NJAC 5:23-3.20 FUEL GAS SUBCODE INTERNATIONAL FUEL GAS CODE 2021 NJAC 5:23-3.22	THIS PROJECT IS A RENOVATION OF KITCHENS & FLOORING IN ALL UNITS WITHIN FENWICK HALL, ONE OF 4 APARTMENT BUILDINGS WITHIN MONTCLAIR STATE UNIVERSITY'S "THE VILLAGE" APARTMENT-STYLE COMPLEX. NEW CABINETS, APPLIANCES & FIXTURES ARE PROPOSED. EXISTING PLUMBING & POWER LOCATIONS WILL BE MAINTAINED. FLOORING WILL BE REPLACED IN THE ENTIRETY OF THE KITCHEN/LIVING SPACE. THE BUILDING HAS APPROXIMATELY 53 UNITS, 20% OF WHICH ARE ALREADY FULLY ADA ACCESSIBLE OR ADA ADAPTABLE. THIS PROJECT DOES NOT ADD ADDITIONAL ACCESSIBLE UNITS TO THE BUILDING, HOWEVER MOST OF THE PROPOSED FIXTURES WERE SELECTED TO ALLOW FOR EASE OF FUTURE ADA ADAPTION IF DEEMED NECESSARY BY THE UNIVERSITY.	DWG. GENERAL T-001.00 COVER SHEET T-002.00 ABBREVIATIONS, SYMBOLS, AND ACCESSIBILITY & DEVICE MOUNTING HEIGHTS DETAILS	DRAWING TITLE D-101.00 FIRST FLOOR REMOVALS PLAN D-102.00 TYPICAL FLOOR REMOVALS PLAN A-101.00 FIRST FLOOR CONSTRUCTION PLAN A-102.00 TYPICAL FLOOR CONSTRUCTION PLAN A-700.00 ENLARGED TYP. KITCHEN PLANS & ELEVATIONS A-800.00 TYP. KITCHEN SECTION DETAILS
COORDINATION OF WORK: THE CHARACTER & SCOPE OF WORK ARE ILLUSTRATED BY THE WORKING DRAWINGS. CONTRACTOR SHALL CAREFULLY EXAMINE ALL THE DRAWINGS & SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE WORK & PROPER CONSIDERATION FOR THE WORK OF OTHERS AND EXISTING BUILDING CONSTRUCTION. DO NOT PLACE DUCTS, PIPING, CONDUIT, OR ANY OBSTRUCTION SO AS TO IMPAIR REQUIRED CEILING HEIGHT AND CLEARANCE FOR THE PROTECTION OF EXISTING ADJACENT SPACES AND BUILDING FACILITIES.		PROPERTY INFORMATION: BUILDING LOCATION: THE VILLAGE AT LITTLE FALLS MONTCLAIR STATE UNIVERSITY: FENWICK HALL 45 CLOVE ROAD, LITTLE FALLS, NJ 07424 AREA OF WORK = APPROXIMATELY 4,240 SF				
BUILDING CODES & REGULATIONS: ALL WORK SHALL CONFORM TO ALL GOVERNING CODES & REGULATIONS. CONTRACTOR SHALL FILE & OBTAIN ALL REQUIRED PERMITS TO PERFORM THE WORK. OWNER PAYS PERMIT FEES. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS FROM GOVERNMENTAL AGENCIES INVOLVED PRIOR TO FINAL PAYMENT.						
INSURANCE: THE GENERAL CONTRACTOR SHALL FURNISH ADEQUATE LIABILITY INSURANCE AND BONDING AS REQUIRED BY THE OWNER AND MUNICIPAL REGULATIONS SPECIFICATIONS AND GENERAL CONDITIONS.						
LIEN WAIVERS & SWORN AFFIDAVITS: CONTRACTOR SHALL FURNISH TO OWNER WITHIN 30 DAYS AFTER FINAL COMPLETION, AND AS CONDITION FOR FINAL PAYMENT, FINAL WAIVERS OF LIEN FOR ALL WORK PERFORMED & FROM ALL SUBCONTRACTORS & MAJOR SUPPLIERS						
QUALITY STANDARDS: ALL SUCH WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER & SHALL BE IN GOOD & USABLE CONDITION AT THE DATE OF COMPLETION THEREOF. CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED TO BE FREE FROM ANY & ALL DEFECTS IN WORKMANSHIP & MATERIALS FOR ONE (1) YEAR FROM DATE ACCEPTANCE HAS BEEN CONFIRMED IN WRITING BY THE OWNER REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR WITHOUT ANY ADDITIONAL CHARGE FOR ANY & ALL WORK DONE OR FURNISHED WHICH SHALL BECOME DEFECTIVE WITHIN THIS ONE (1) YEAR PERIOD. THE CORRECTION OF SUCH WORK SHALL INCLUDE, WITHOUT ADDITIONAL CHARGE, ALL EXPENSES & DAMAGES IN CONNECTION WITH SUCH REMOVAL, REPLACEMENT, OR REPAIR OF ANY PART OF THE WORK WHICH MAY BE DAMAGED OR DISTURBED HEREBY.						
ALL WARRANTIES OR GUARANTEES AS TO MATERIALS OR WORKMANSHIP ON OR WITH RESPECT TO THE OWNER'S WORK SHALL BE SO WRITTEN THAT SUCH GUARANTEE OR WARRANTEES SHALL INSURE TO THE BENEFIT OF OWNER.						
RUBBER WHEEL CARTS: CONTRACTOR CARTS, EQUIPMENT BOXES, ETC. MUST BE EQUIPPED WITH RUBBER WHEELS.						
RUBBISH REMOVAL: CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AS REQUIRED BY LOCAL CODE OR OWNER, TO PROTECT THE PUBLIC AT ALL TIMES DURING CONSTRUCTION						
SUPPLEMENTARY CONDITIONS: DURING THE CONSTRUCTION PROCESS, THE CONTRACTOR SHOULD BY MEANS OF BARRIERS, GUARDS, FIRE WATCHES, TARPOLINS AND/OR ANY OTHER PROTECTIVE DEVICE AS DIRECTED BY CITY OR TOWN BUILDING DEPARTMENT, TO PROTECT: THE PUBLIC, AND ANY OTHER PERSONS OR ITEM OF MATERIAL VALUE WHICH MAY BE SUBJECT TO DANGER OR DAMAGE IN ANY WAY AS A RESULT OF THIS CONSTRUCTION.						
SHOULD ANY OF THE LIFE SAFETY SYSTEMS ON SITE (INCLUDING BUT NOT LIMITED TO, a) SMOKE DETECTOR SYSTEMS, b) SPRINKLER SYSTEMS, c) FIRE ALARM SYSTEMS, d) EMERGENCY LIGHTING SYSTEMS) BE REQUIRED TO BE SHUT DOWN AS A RESULT OF THIS CONSTRUCTION, CONTRACTOR SHALL ADVISE THE BUILDING MANAGEMENT, OWNER, THE BUILDING DEPARTMENT, FIRE DEPARTMENT OR ANY OTHER AGENCY HAVING JURISDICTION, OF THE ANTICIPATED SHUT DOWN & TAKE ALL PRECAUTIONS REQUIRED TO PROTECT THE PREVIOUSLY MENTIONED PERSONS AND/OR ITEMS IN ACCORDANCE WITH BUT NOT LIMITED TO THE REQUIREMENTS OF THE VARIOUS AGENCIES AND LOCAL CODES HAVING JURISDICTION. THESE PROTECTIVE MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A) WORKING ON AN OVERTIME BASIS, B) INSTALLING BARRICADES TO LIMIT ACCESS, C) THE USE OF GUARDS OR ANY FIRE WATCHES, D) TEMPORARILY SHUTTING DOWN THE PREMISES, E) ANY OTHER PROTECTIVE MEASURES REQUIRED TO INSURE SAFETY.						
SHOULD ANY OF THE LIFE SAFETY SYSTEMS ON SITE (INCLUDING BUT NOT LIMITED TO, a) SMOKE DETECTOR SYSTEMS, b) SPRINKLER SYSTEMS, c) FIRE ALARM SYSTEMS, d) EMERGENCY LIGHTING SYSTEMS) BE REQUIRED TO BE SHUT DOWN AS A RESULT OF THIS CONSTRUCTION, CONTRACTOR SHALL ADVISE THE BUILDING MANAGEMENT, OWNER, THE BUILDING DEPARTMENT, FIRE DEPARTMENT OR ANY OTHER AGENCY HAVING JURISDICTION, OF THE ANTICIPATED SHUT DOWN & TAKE ALL PRECAUTIONS REQUIRED TO PROTECT THE PREVIOUSLY MENTIONED PERSONS AND/OR ITEMS IN ACCORDANCE WITH BUT NOT LIMITED TO THE REQUIREMENTS OF THE VARIOUS AGENCIES AND LOCAL CODES HAVING JURISDICTION. THESE PROTECTIVE MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A) WORKING ON AN OVERTIME BASIS, B) INSTALLING BARRICADES TO LIMIT ACCESS, C) THE USE OF GUARDS OR ANY FIRE WATCHES, D) TEMPORARILY SHUTTING DOWN THE PREMISES, E) ANY OTHER PROTECTIVE MEASURES REQUIRED TO INSURE SAFETY.						
SITE LOCATION MAP 					KEY PLAN 	
LOCATION OF SITE FIRST FLOOR SECOND THRU FIFTH FLOORS AREA OF WORK NOTE: N.T.S.						

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Description

CLAIRES STATE UNIVERSITY
45 CLOVE ROAD

THE VILLAGE:
VILLAGE REGULATIONS

ISSUED FOR BID

COVER SHEET

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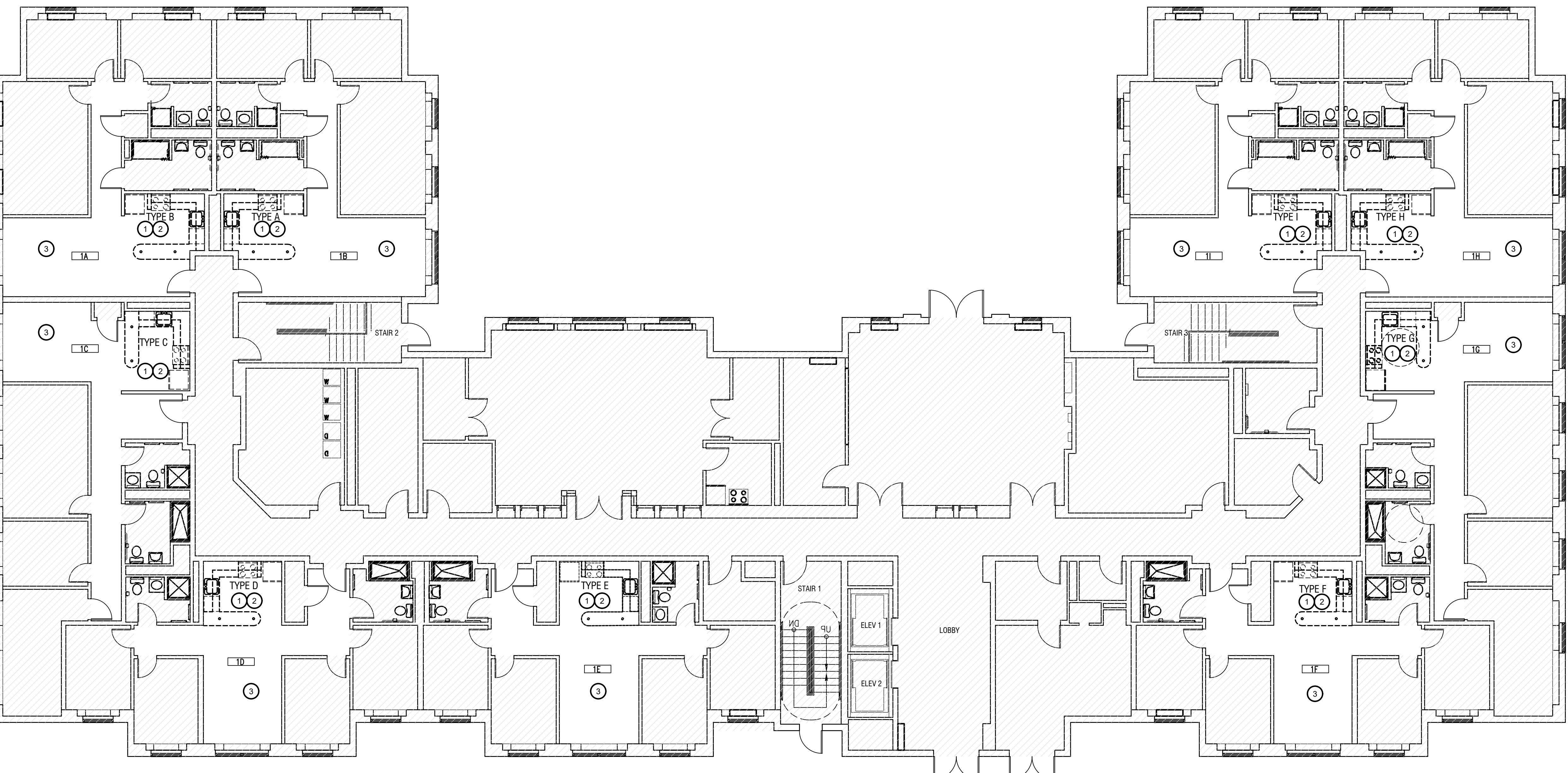
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1 FIRST FLOOR PLAN
1/8" = 1'-0"



CONSTRUCTION NOTES

1. ANY APPLIANCES REMAINING ONSITE AT THE START OF CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.

KEY NOTES

- ① REMOVE EXISTING WALL CABINETS & ASSOCIATED COMPONENTS. PATCH ANY DAMAGE TO WALLS CAUSED BY THEIR REMOVAL & PREPARE SURFACES TO RECEIVE NEW MILLWORK.
- ② REMOVE EXISTING DISHWASHER AND CAP ASSOCIATED PIPING, DRAIN AND ELECTRIC CONNECTIONS.
- ③ REMOVE EXISTING FLOOR FINISH, WALL BASE AND ASSOCIATED COMPONENTS IN ENTIRETY OF KITCHEN/LIVING SPACE. PATCH AND REPAIR ANY DAMAGE TO WALLS CAUSED BY REMOVAL OF WALL BASE. PREPARE SUBSTRATES TO RECEIVE NEW FLOORING (LVT-01) & RUBBER WALL BASE (RB-01) AS SCHEDULED.

Seal:

Posen Project No.:
25100

Submission:
ISSUED FOR BID

Drawing:
FIRST FLOOR REMOVALS PLAN

Drawn By: YA
Checked By: TF
Date: 09.16.2025

Scale: 1/8" = 1'-0"
Dwg No./Issue No.: D-101.00
Drawing: 3 of 8

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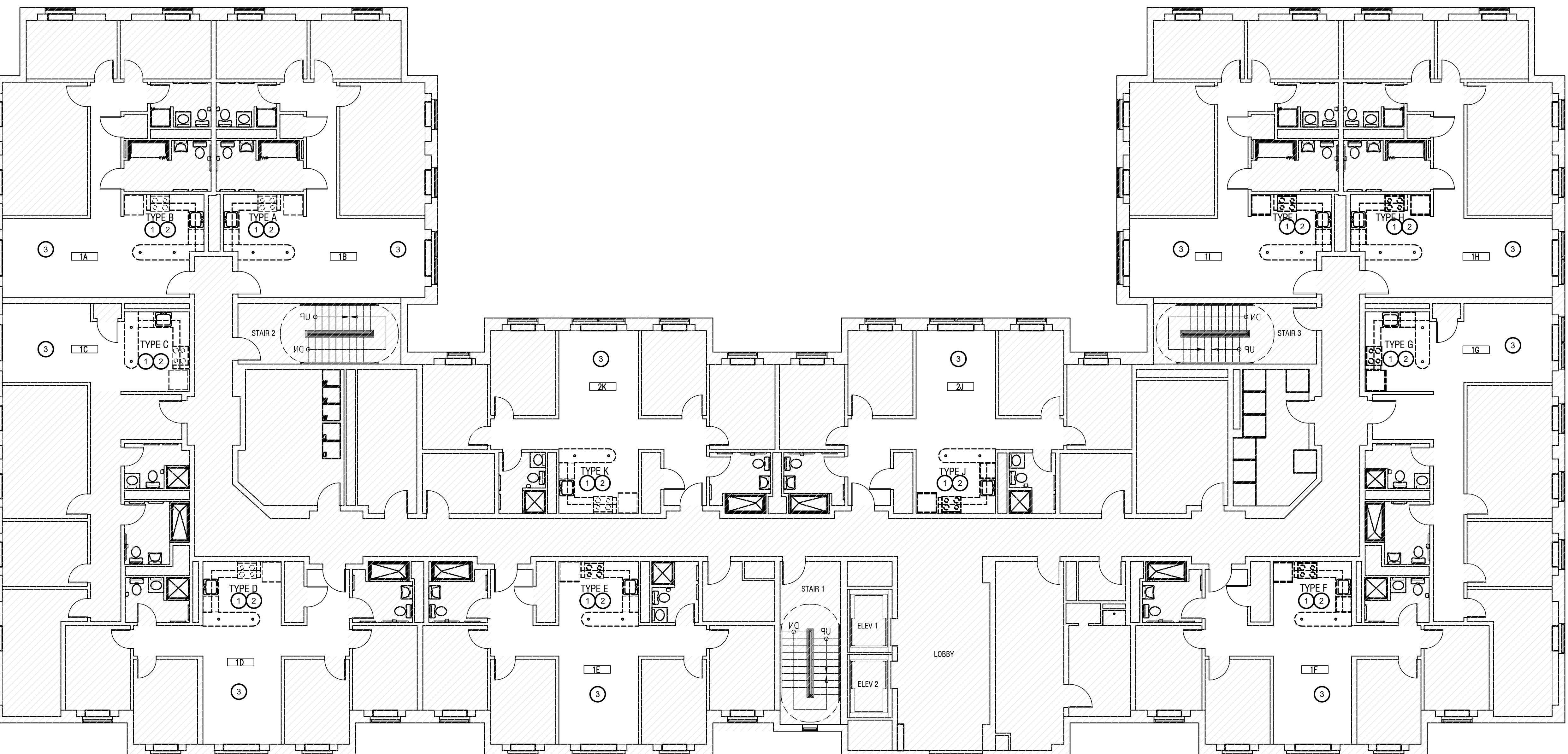
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1 FLOOR SECOND THRU FIFTH PLAN - SIMILAR
1/8" = 1'-0"

NORTH

CONSTRUCTION NOTES

1. ANY APPLIANCES REMAINING ONSITE AT THE START OF CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.

KEY NOTES

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- ③ REMOVE EXISTING FLOOR FINISH, WALL BASE AND ASSOCIATED COMPONENTS IN ENTIRETY OF KITCHEN/LIVING SPACE. PATCH AND REPAIR ANY DAMAGE TO WALLS CAUSED BY REMOVAL OF WALL BASE. PREPARE SUBSTRATES TO RECEIVE NEW FLOORING (LVT-01) & RUBBER WALL BASE (RB-01) AS SCHEDULED.

Posen Project No.:
25100

Submission: ISSUED FOR BID

Drawing: TYPICAL FLOOR REMOVALS PLAN

Drawn By: YA Checked By: TF Date: 09.16.2025

Scale: 1/8" = 1'-0" Dwg No./Issue No.: D-102.00 Drawing: 4 of 8

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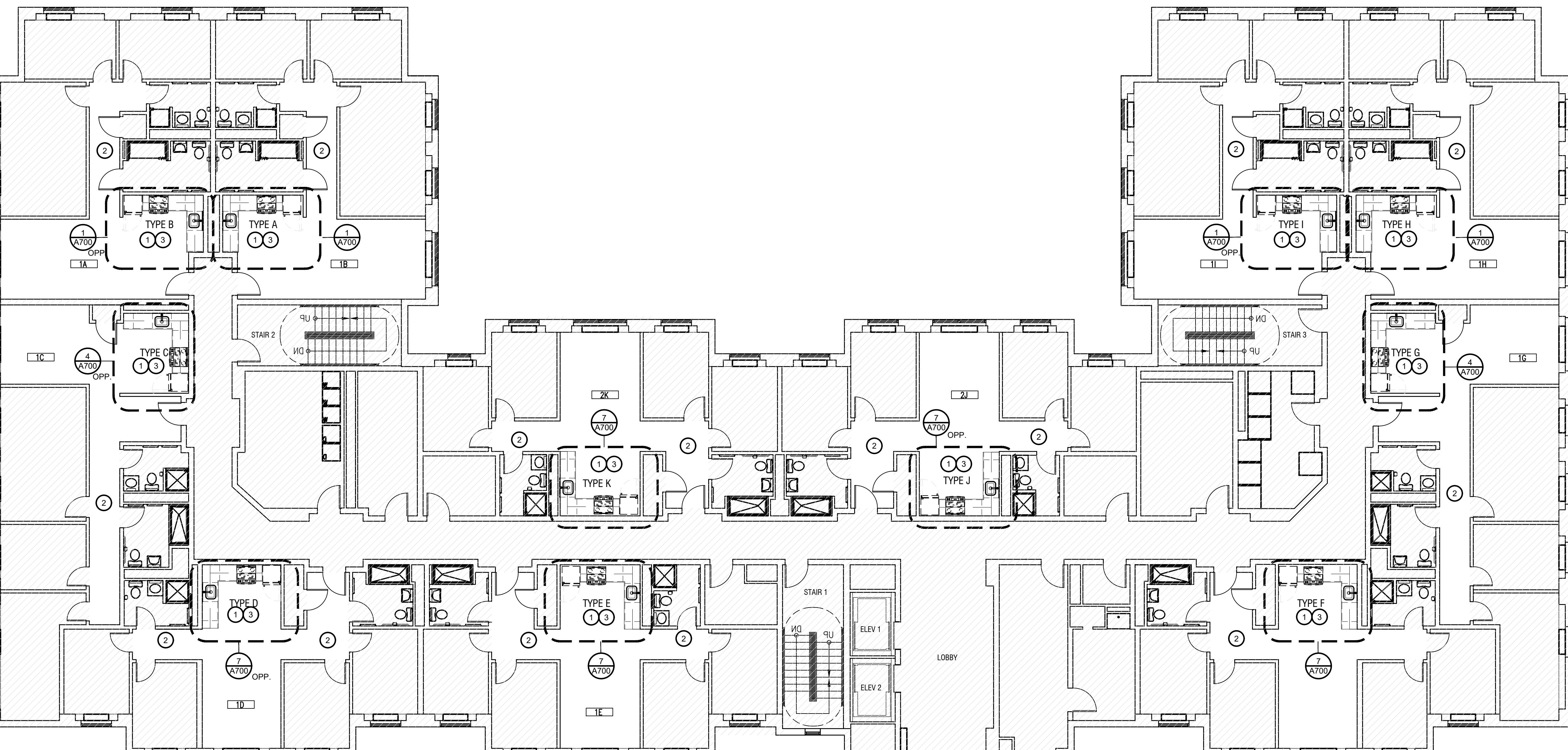
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1 FLOOR SECOND THRU FIFTH PLAN - SIMILAR
1/8" = 1'-0"



CONSTRUCTION NOTES

1. REFER TO A700 FOR FINISHES INFORMATION.

KEY NOTES

- ① INSTALL NEW CABINETS, COUNTER TOPS AND APPLIANCES. COORDINATE WALL BLOCKING & POWER AS REQUIRED.
- ② INSTALL FA-1 TRANSITION STRIPS BELOW DOORS TO COMMON CORRIDOR & BEDROOMS.
- ③ PAINT ALL WALLS WITHIN KITCHEN EXTENTS AND IN COMMON SPACES WHERE FLOORING IS BEING REPLACED.

Posen Project No.:
25100

Submission: ISSUED FOR BID

Drawing:

TYPICAL FLOOR CONSTRUCTION PLAN

Drawn By: YA Checked By: TF Date: 09.16.2025

Scale: 1/8" = 1'-0" Dwg No. Issue No.: Drawing: A-102.00 6 of 8

