

NTS

Figure 1: Typical ADA-Compliant Entrance Detail. This technical drawing illustrates the required clearances and mounting heights for various components at a building entrance. Key features include:

- Approach:** A 48" A.F.F. (Above Finished Floor) clear width and a 15" A.F.F. clear height for the front and side approach.
- Entrance Opening:** A minimum clear height of 6'-8" (6'-0" minimum) and a clear width of 4'-0" (42" minimum) for the entrance opening.
- Wall Mounting:** Components are mounted on the wall at specific heights: 48" A.F.F. for the tactile sign, 48" A.F.F. for the wall-mounted exit light, and 48" A.F.F. for the horn/strobe light or signaling unit. The top of the coat/robe hook is also at 48" A.F.F.
- Clearances:** A 3'-2" clearance is required for the telephone, and a 3'-0" clearance is required for the thermostat or other control device. A 3'-10" clearance is required for the electrical, telephone, or data receptacle.
- Other Details:** The drawing shows a wall guard, a wall-mounted telephone, a light switch, door release, power/data switches, a base cabinet, and a wall-mounted exit light. It also indicates the location of a fire extinguisher cabinet and a fire hose valve cabinet.

(

Posen Project No.: 25100		
Submission: ISSUED FOR BID		
Drawing: ABBREVIATIONS, SYMBOLS, AND ACCESSIBILITY & DEVICE MOUNTING HEIGHTS DETAILS		
Drawn By: YA	Checked By: TF	Date: 09.16.2025
Scale: 1/8" = 1'-0"	Dwg No./Issue No.: T-002.00	Drawing: 2 of 8



CONSTRUCTION NOTES

KEY NOTES

1. ANY APPLIANCES REMAINING ONSITE AT THE START OF CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.

- ① REMOVE EXISTING WALL CABINETS & ASSOCIATED COMPONENTS. PATCH ANY DAMAGE TO WALLS CAUSED BY THEIR REMOVAL. PREPARE SURFACES TO RECEIVE NEW MILLWORK.
- ② REMOVE EXISTING DISHWASHER AND CAP ASSOCIATED PIPING, DRAIN AND ELECTRIC CONNECTIONS.
- ③ REMOVE EXISTING FLOOR FINISH, WALL BASE AND ASSOCIATED COMPONENTS IN ENTIRETY OF **KITCHEN/LIVING SPACE**. PATCH AND REPAIR ANY DAMAGE TO WALLS CAUSED BY REMOVAL OF WALL BASE. PREPARE SUBSTRATES TO RECEIVE NEW FLOORING (LV1-03) & RUBBER WALL BASE (RB-01) AS SCHEDULED.

[illegible]**Client**

MONTCLAIRE STATE UNIVERSITY
45 CLOVE ROAD
LITTLE FALLS, NJ 07424

Project

THE VILLAGE:
FENWICK HALL KITCHEN RENOVATIONS
MSU PROJECT # PR25C020

Seal

Posen Project No.

Submission

ISSUED FOR BID

Drawing:

FIRST FLOOR REMOVALS PLAN

Drawn By:

YA

Date: _____

Scale:

Dwg No Issue No

Drawing:

$$1/8'' = 1'-0''$$

D-101,00

3 of 4



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MSU PROJECT # PR25C020

Seal:

Posen Project No.:

5100

Submission

ISSUED FOR BID

Drawing:

TYPICAL FLOOR REMOVALS PLAN

Drawn By:

YA

Date:

09.16.

Scale:

Page No. Issue

Following:

$$1/8" = 1'-0"$$

D-102,00

of 8



NORTH

KEY NOTES

1. REFER TO A700 FOR FINISHES INFORMATION.

- ① INSTALL NEW CABINETS, COUNTER TOPS AND APPLIANCES. COORDINATE WALL BLOCKING & POWER AS REQUIRED.
- ② INSTALL FA-1 TRANSITION STRIPS BELOW DOORS TO COMMON CORRIDOR & BEDROOMS.
- ③ PAINT ALL WALLS WITHIN KITCHEN EXTENTS AND IN COMMON SPACES WHERE FLOORING IS BEING REPLACED.

POSEN ARCHITECTS

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THE VILLAGE:
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Posen Project No.: 25100	
Submission: ISSUED FOR BID	
Drawing: FIRST FLOOR CONSTRUCTION PLAN	
Drawn By: YA	Checked By: TF
Date: 09.16.2025	
Scale: 1/8" = 1'-0"	Dwg No./Issue No.: A-101.00
Drawing: 5 of 8	



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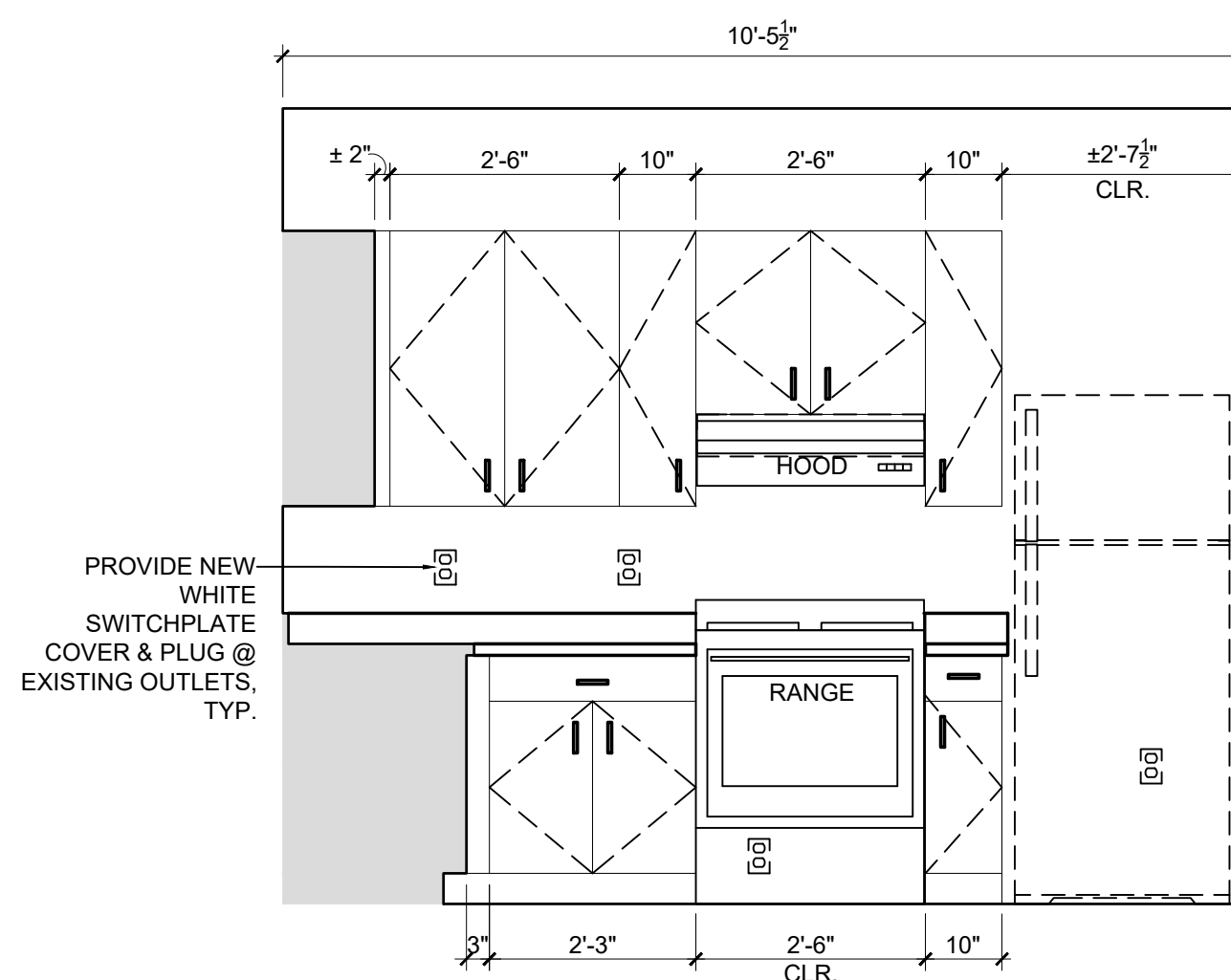
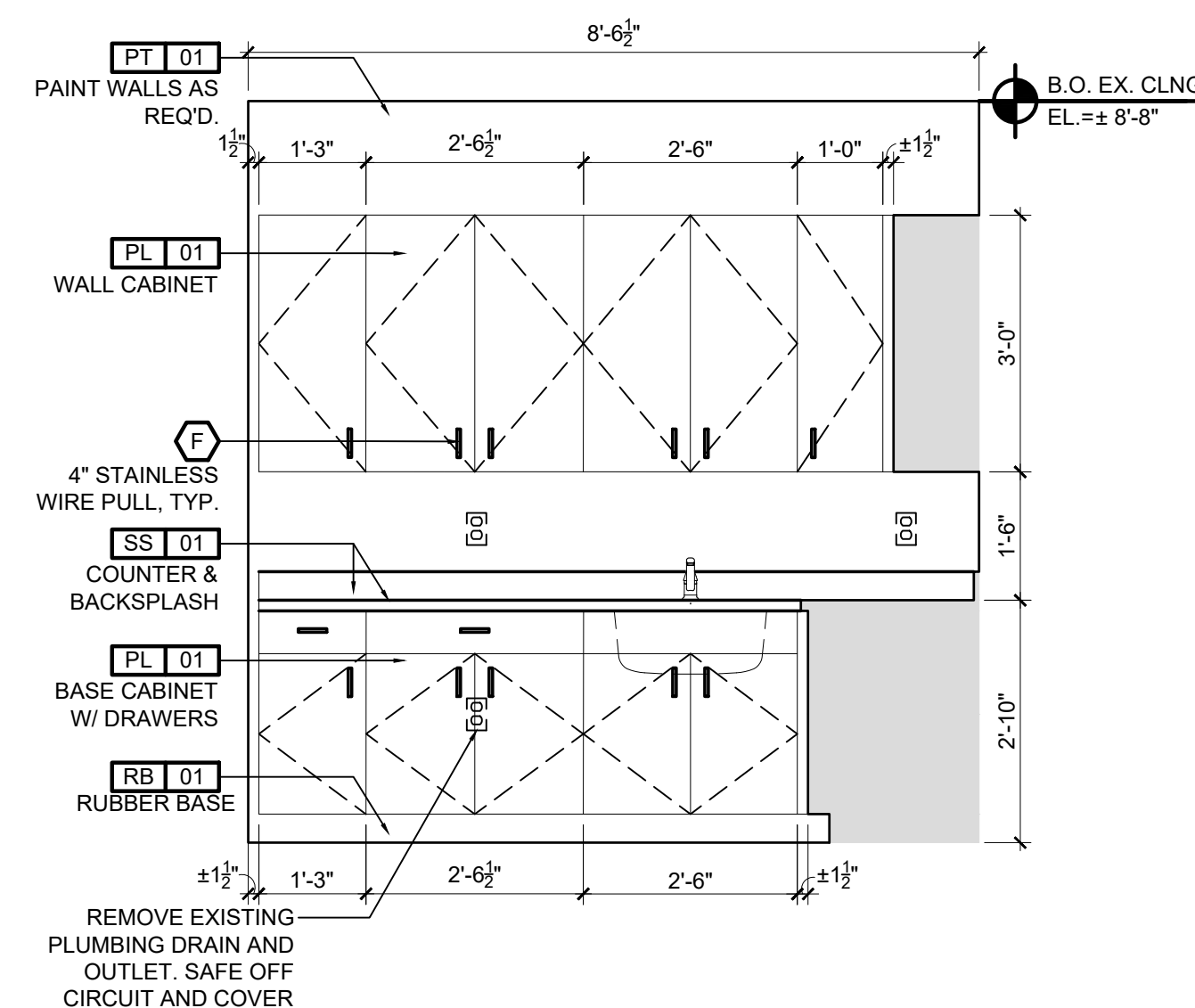
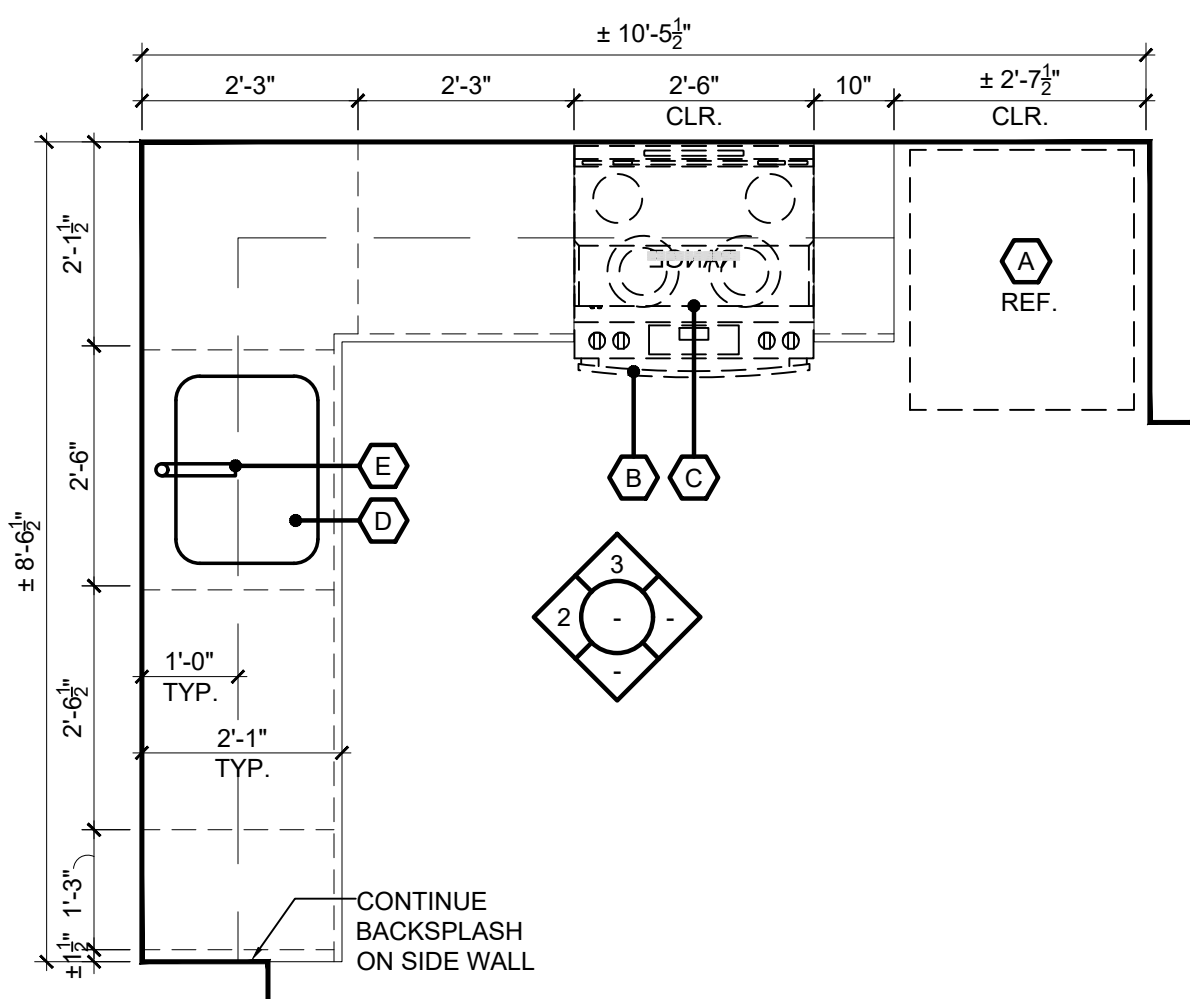
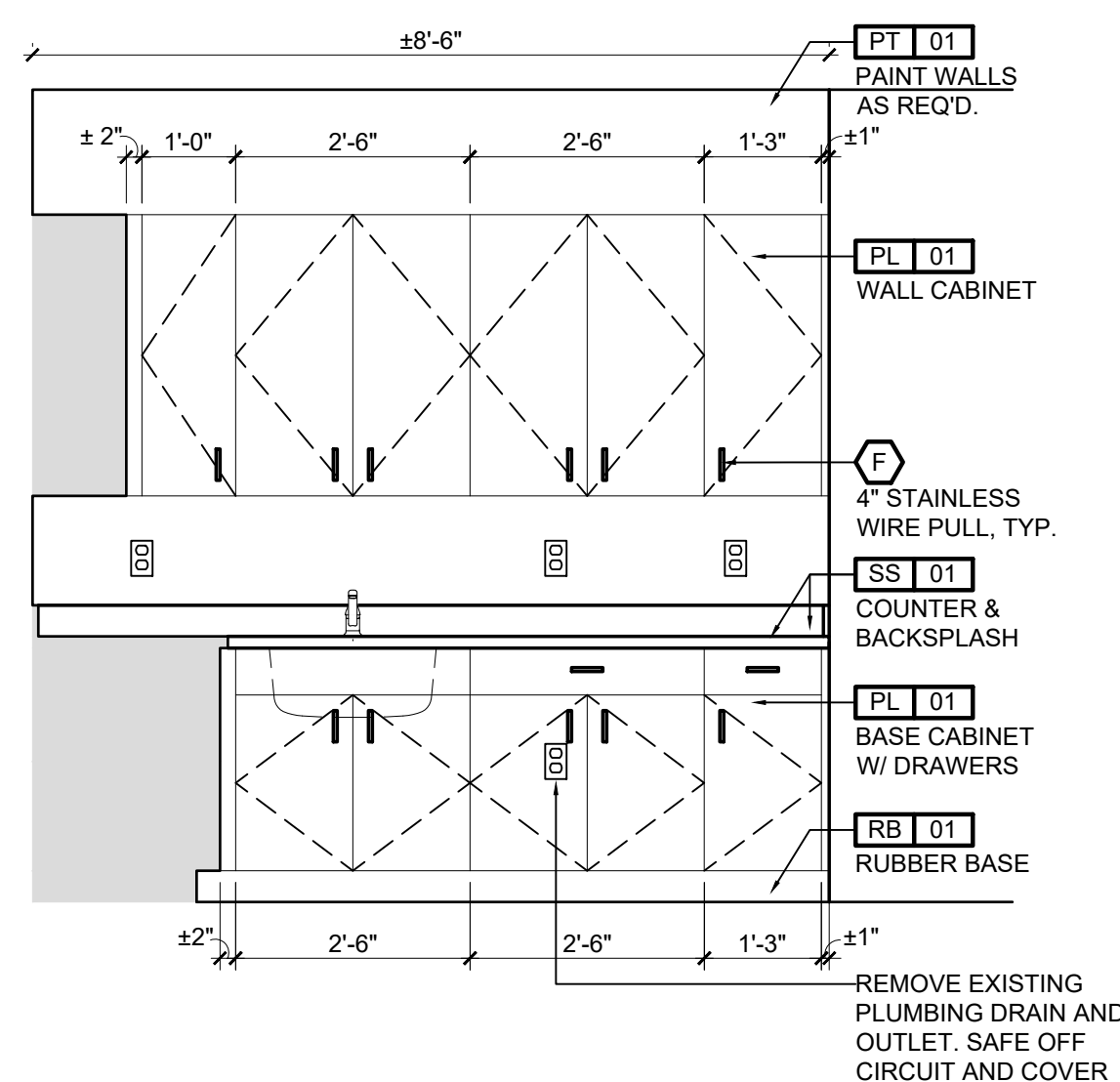
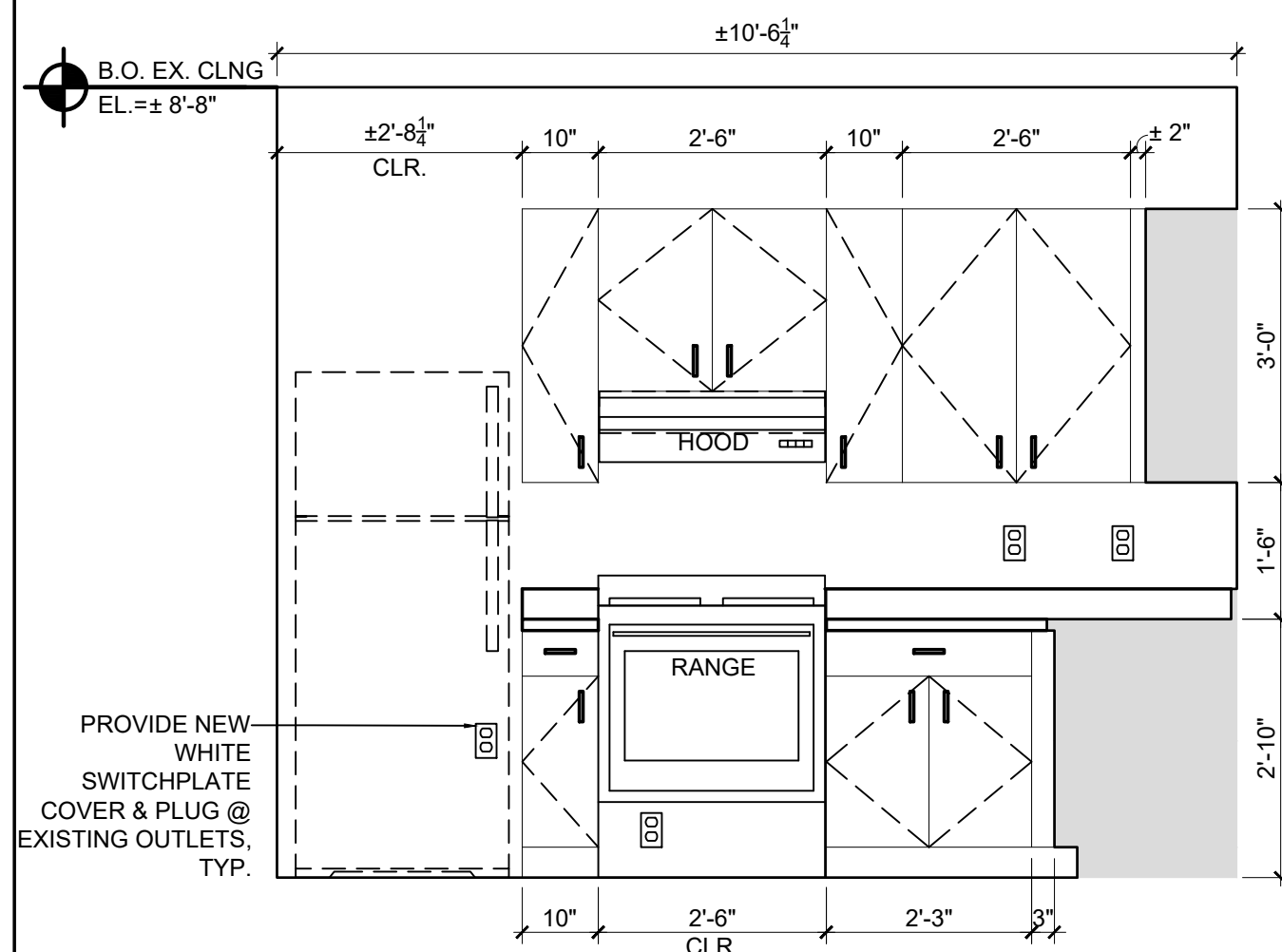
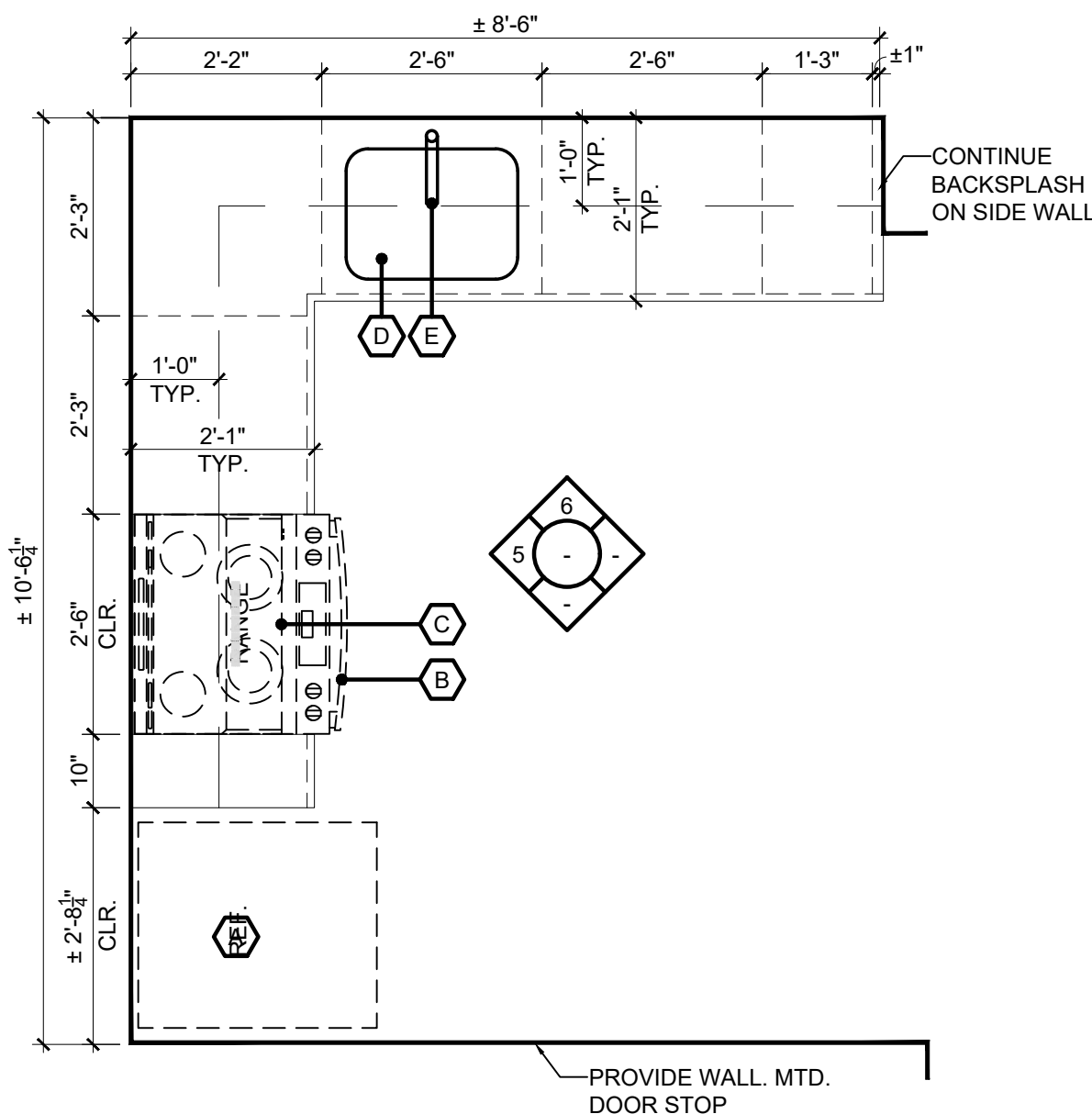
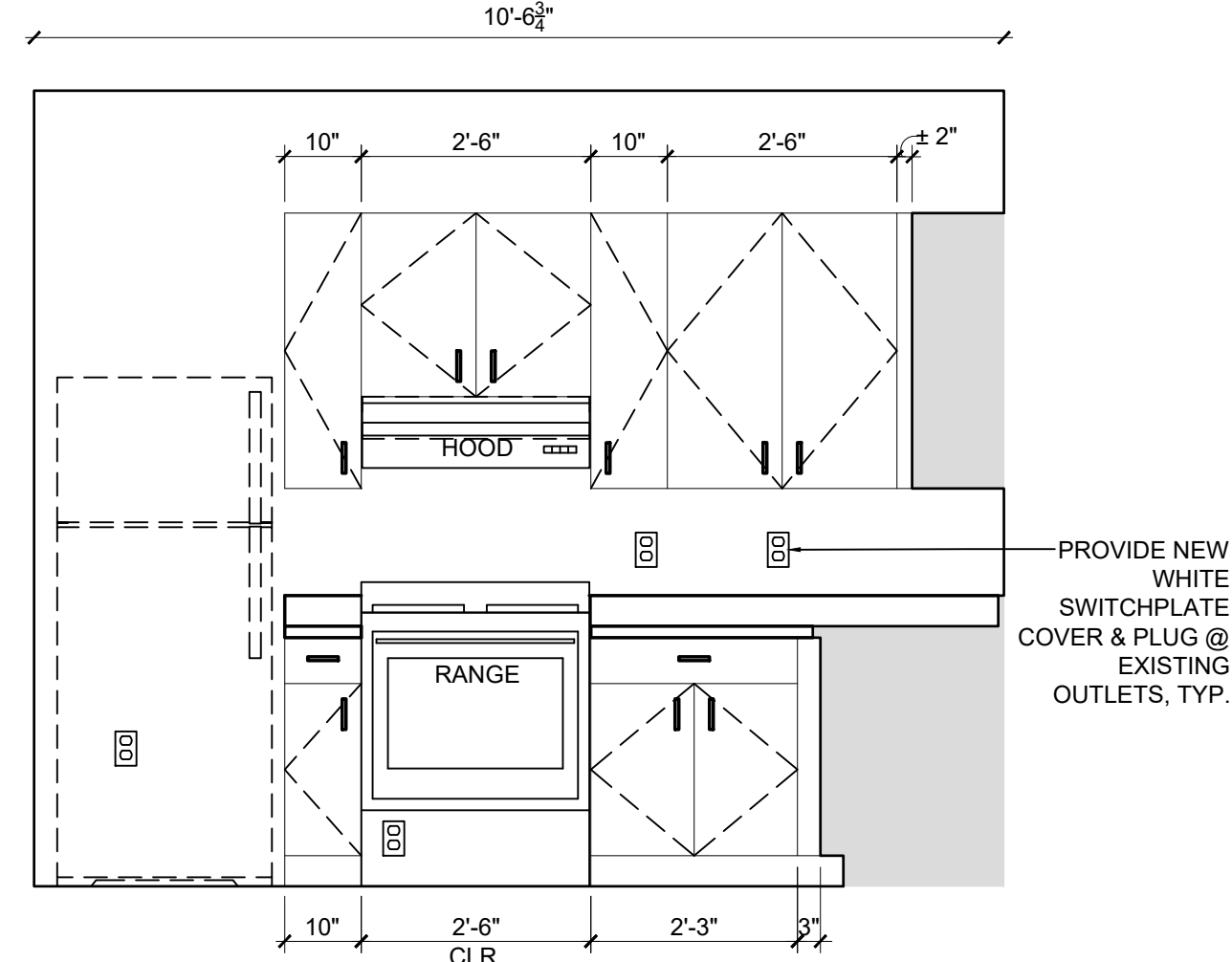
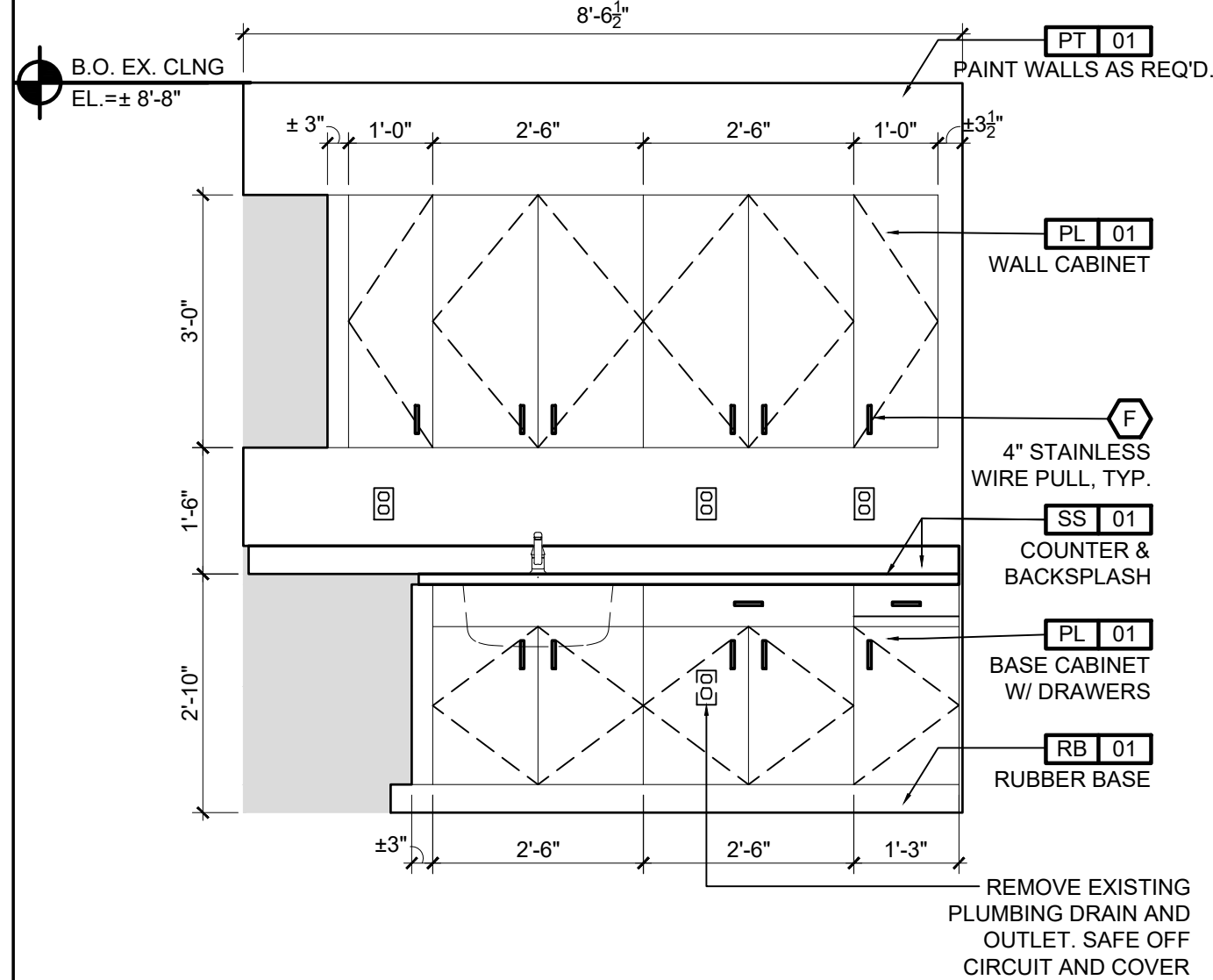
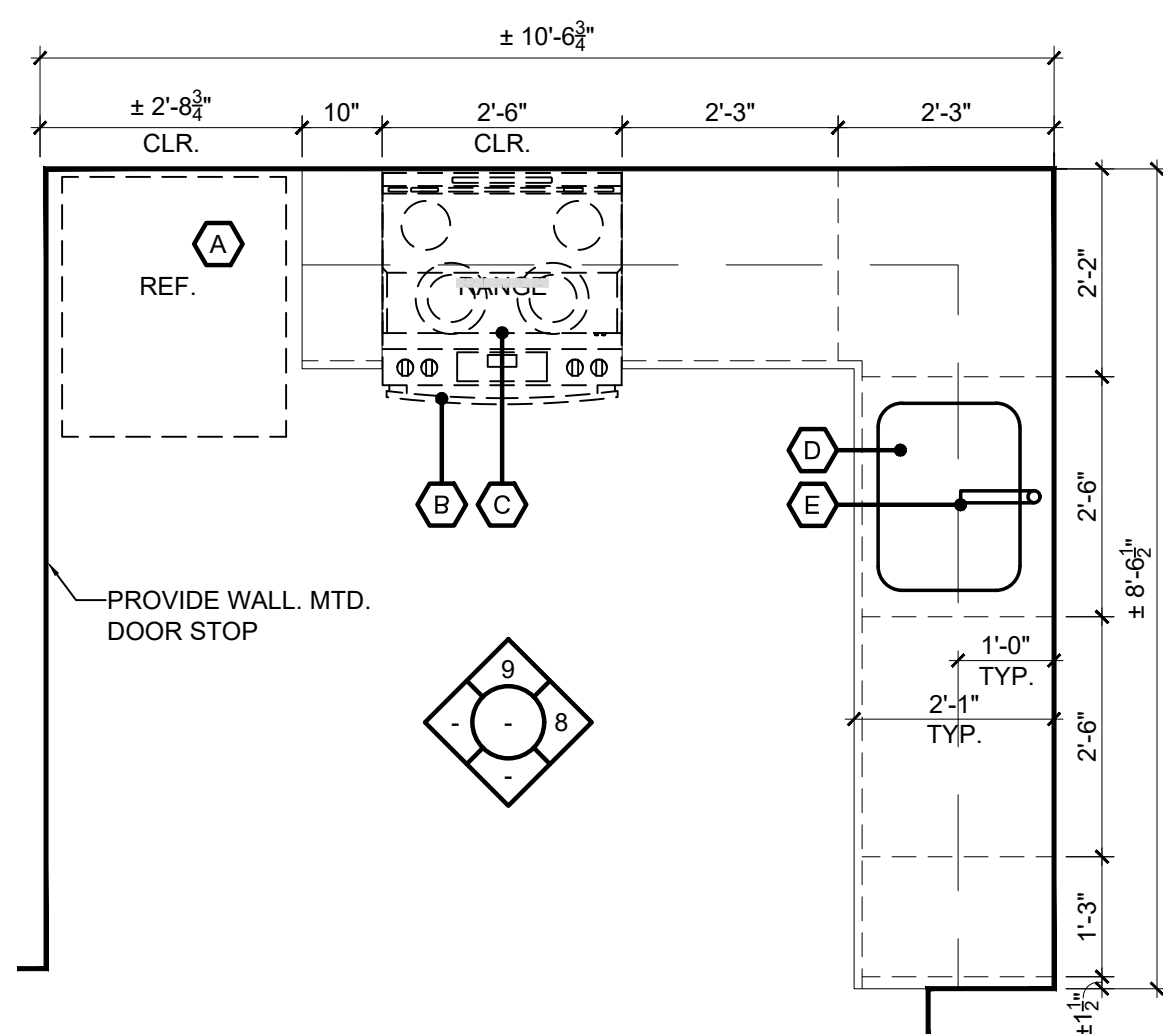
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MSU PROJECT # PR25C020







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Drawing: TYPICAL FLOOR CONSTRUCTION PLAN			
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Scale: 1/8" = 1'-0"	Dwg No/Issue No.: A-102.00	Drawing: 6	of 8



SCHEDULES & NOTES

APPLIANCE, FIXTURE & ACCESSORY SCHEDULE

TAG	ITEM	QUANT.	MANUF.	MODEL #	FINISH	NOTES
	TOP FREEZER REFRIGERATOR	53	GE	GTS18GTNWW	WHITE	17.5 CU. FT.
	RANGE	53	WHIRPOOL	WEE515SALW	WHITE	5.3 CU. FT., 30" WIDE CONNECT ANTI-TIP
	RECIRCULATING HOOD	53	GE	JVX3300DJWW	WHITE	30" WIDE W/ LIGHT 20 CFM
	UNDERMOUNT SINK	53	DAYTON	DXUH2115	STAINLESS STL	23.5" x 18.25" SINGLE BOWL 18 GAUGE
	SINGLE HANDLE LOW-ARC FAUCET	53	DELTA	COLLINS 141-SS-DST	STAINLESS STL	ADA COMPLIANT
	4" WIRE PULL	-	MOCKETT	DP57B	BRUSHED NICKEL	MODERN STYLE

FINISH SCHEDULE

1. PAINTS (ALL PAINT AND PRIMERS SHALL CONTAIN NO VOC'S)
PT-01= WALL PAINT COLOR TO BE SHERWIN WILLIAMS, DOVER WHITE SW6385.
2. LUXURY VINYL TILE (ALL ADHESIVES SHALL CONTAIN NO VOC'S)
LVT-01= FORBO FLOORING, ALLURA DRYBACK LVT (FL5) 8" X 48", COLOR: GREY COLLAGE OAK
ALLURA FLEX LVT (FL5) IS AN ACCEPTABLE ALTERNATE IF MORE READILY IN STOCK.
REF CONTACT: INVENTIVE FLOORS, FRANK JESCH / 913.656.4180 / FRANKJ@INVENTIVEFLOORS.COM
3. WALL BASE
RB-01= ROPPE, PINNACLE RUBBER BASE, TYPE: TS- STANDARD TOE, COLOR: 194 BURNT UMBER
SIZE: 4" X $\frac{3}{8}$ " THICK
4. SOLID SURFACE
SS-01= CAESARSTONE, CLASSICO COLLECTION, COLOR: 2141 BLIZZARD QUARTZ, SIZE: 2 CM,
POLISHED FINISH, MITER EDGE PROFILE
5. PLASTIC LAMINATE
PL-01= WILSONART, STANDARD LAMINATE (HPL), COLOR: 4991-38 PRESSED LINEN, FINE VELVET
FINISH
6. FINISH ACCESSORIES
FA-01= ROPPE, RUBBER ACCESSORIES, TILE/CARPET JOINER, COLOR: 194 BURNT UMBER
7. CABINETS
PREFABRICATED CABINETS BY FABUWOOD, WOLF OR EQUAL.

GENERAL FINISH NOTES

1. SUBMIT SAMPLES OF ALL ITEMS UNDER " FINISH SCHEDULE" ON THIS SHEET FOR APPROVAL.
2. TRANSITION STRIPS TO OCCUR UNDER CENTER OF DOOR, TYP.
3. AT ALL DOOR THRESHOLDS, AND AT ALL TRANSITIONS BETWEEN FLOOR FINISH MATERIALS OF UN-EQUAL THICKNESS, PROVIDE A SMOOTH AND LEVEL OR BEVELED TRANSITION (NOT TO EXCEED $\frac{3}{4}$ " IN OVERALL HEIGHT) TO MEET THE REQUIREMENTS OF ADA, ICC/ANSI A117.1, AND THE nj BARRIER-FREE SUBCODE.
4. ALL FLOORING TO EXTEND UNDER NEW MILLWORK AND EQUIPMENT.
5. ALL KITCHEN RECEPTACLES ARE CHANGED OUT TO GFI AND TEMPER RESISTANT TYPE.
6. CAULK BACKSPLASH & SIDESPLASH TO ENSURE NO GAPS.
7. COORDINATE REUSE OF EXISTING POWER OUTLETS FOR NEW HOOD, RANGE & REFRIGERATOR (TYPICAL)

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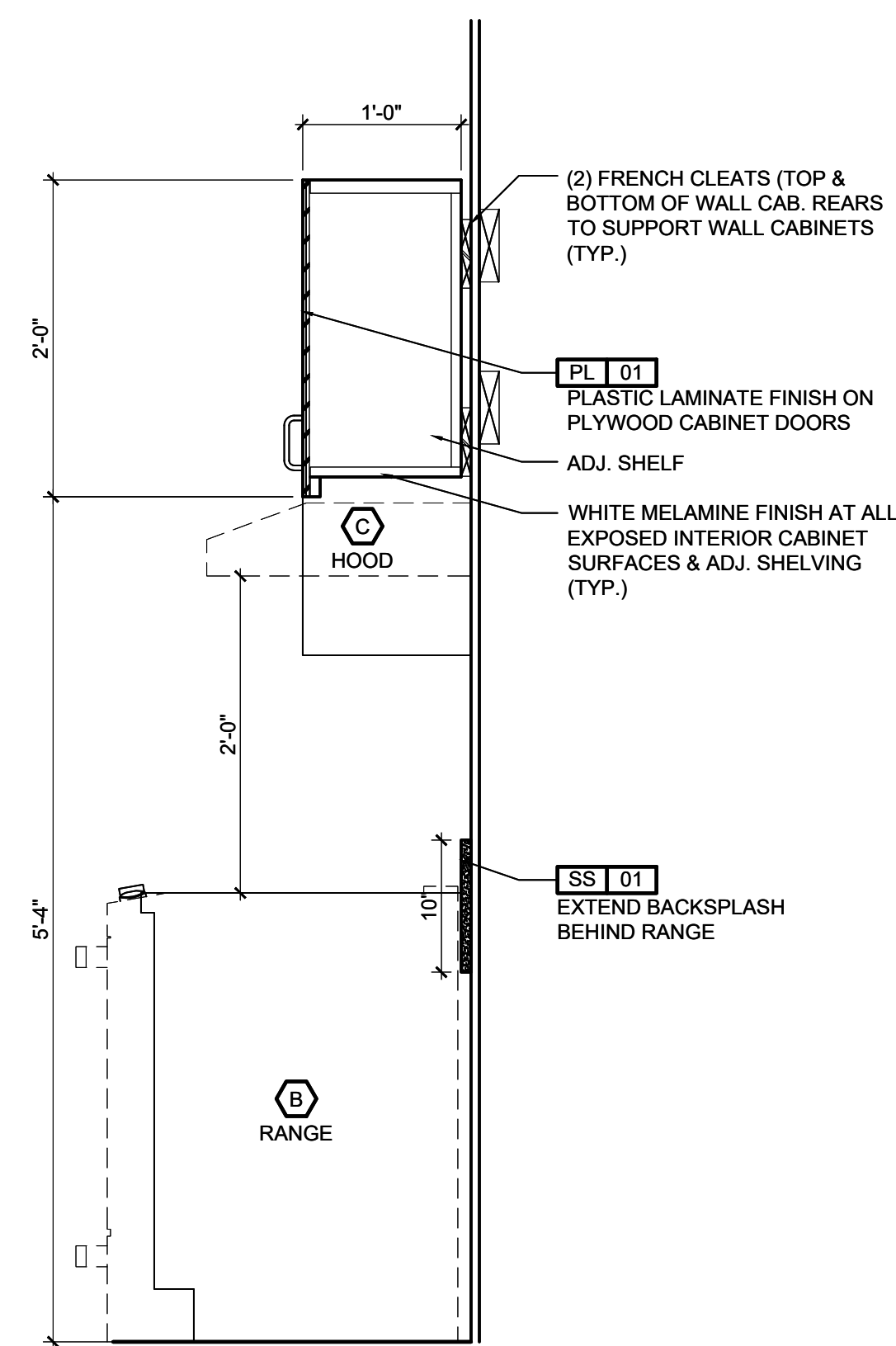
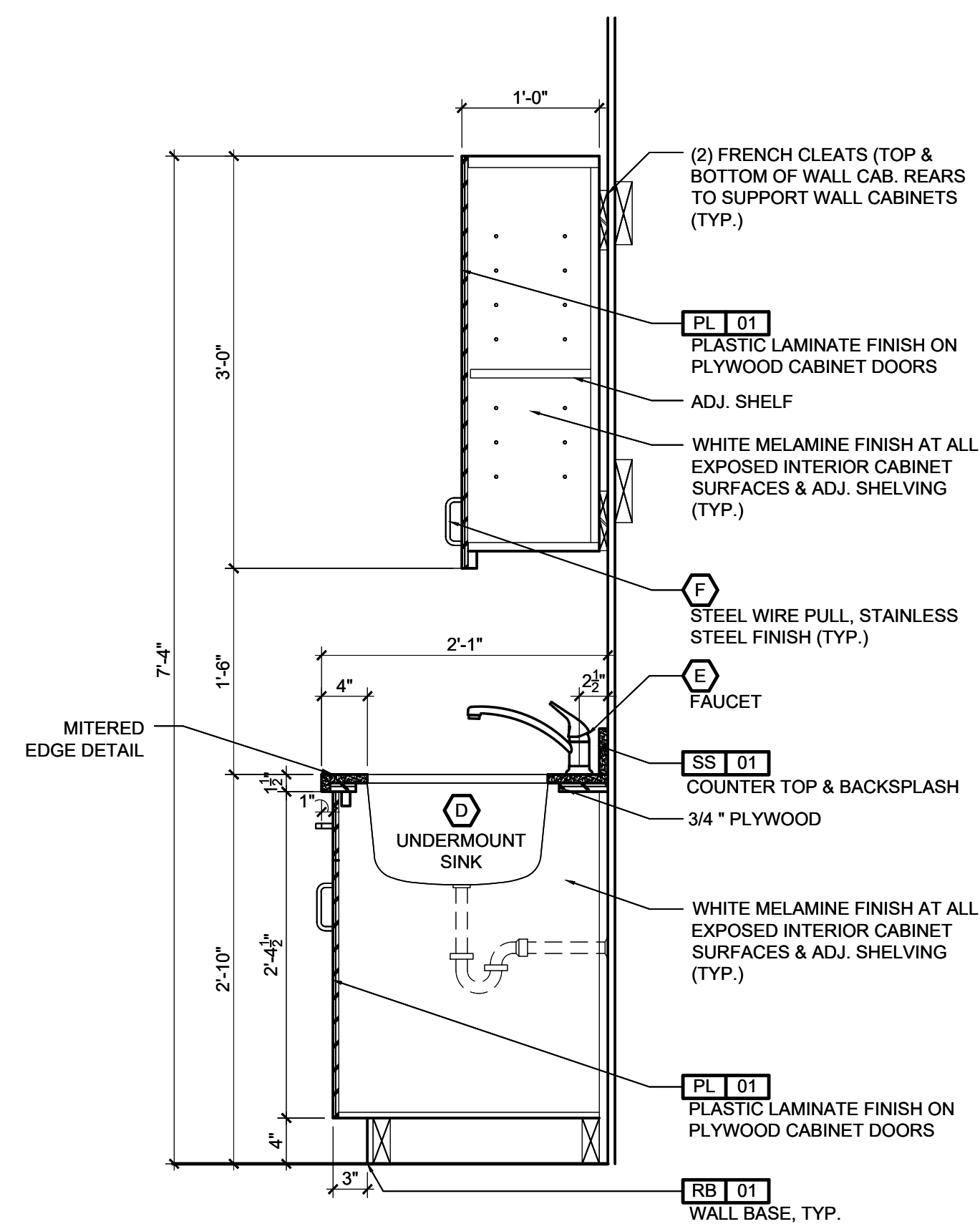
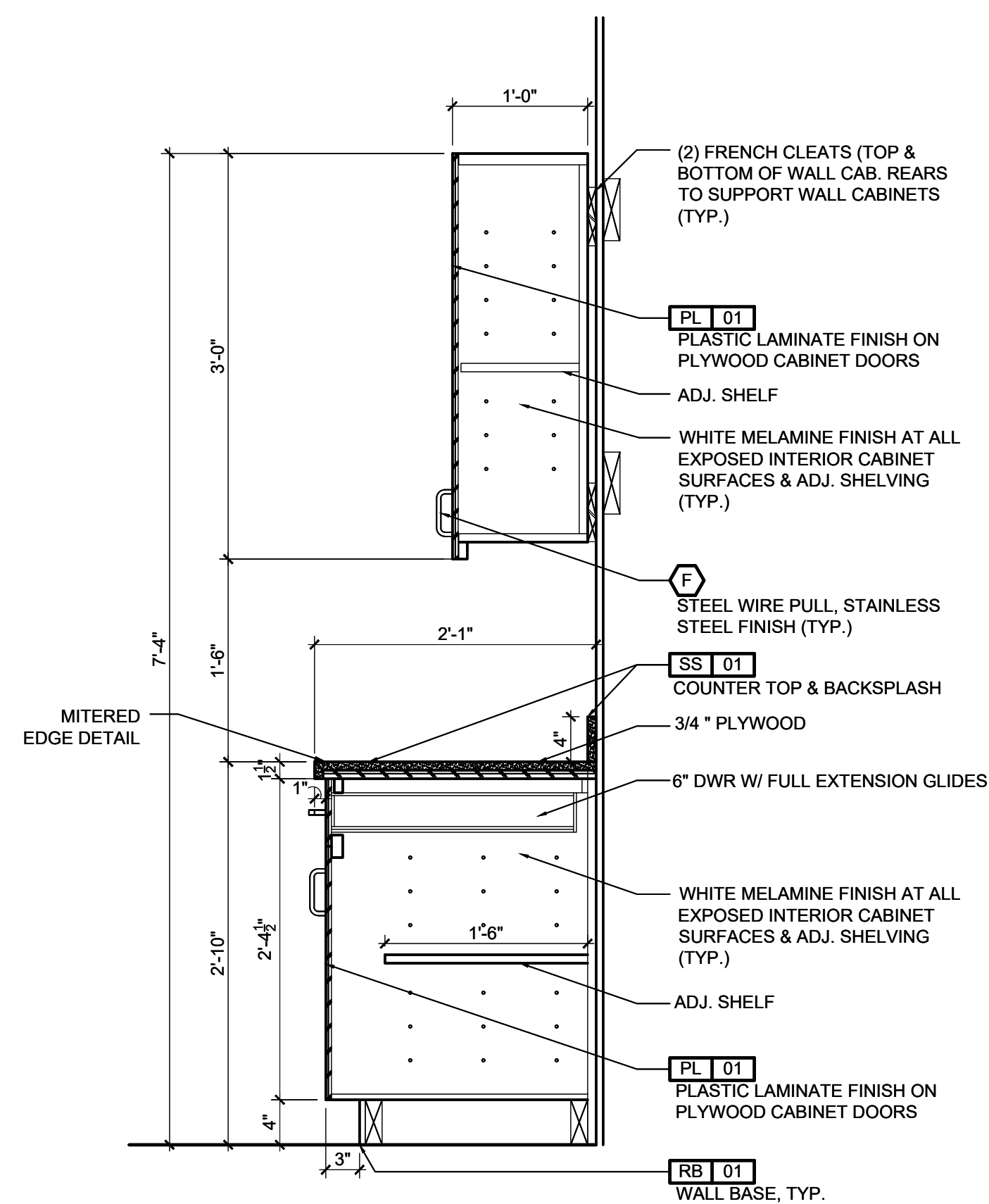
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: Drawing:



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MSU PROJECT # PR25C020

Seal:

Posen Project No.:	25100
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Submission: ISSUED FOR BID

Drawing:

TYP. KITCHEN SECTION DETAIL

Drawn By: YA	Checked By: TF	Date: 09.16.2025
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Scale: 1/8" = 1'-0"	Dwg No. A-800.00	Issue No.: 8	Drawing: of 8
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