

Form: **Addendum No. 1**
Project Title: **RFP 1646 Courtyard Lighting: University Hall**
Issued Date: **December 18, 2025**
Revised Submission Due Date: **January 21, 2026 at 2:00 p.m.**

This Addendum relates to the project referenced above, originally advertised on December 2, 2025.

Addendum Contents

Section #	Item	Description
1	Questions & Answers	Questions & Answers have been posted as part of this Addendum.

This Addendum forms part of the Contract documents and modifies the original Bidding documents and any prior Addenda (*if any*), as stated herein. Unless specifically noted or specified hereinafter, all services and other provisions of the Contract documents shall remain in full force.

It is the sole responsibility of the Vendor to be knowledgeable of all of the additions, deletions, clarifications, and modifications to the RFP or project materials related to this project as set forth in all Addenda. Bidder must submit the Addendum acknowledgement below within proposal. Failure of the Bidder to provide this acknowledgement of Addendum within submission will cause the Proposal to be deemed non-responsive.

ADDENDUM ACKNOWLEDGMENT

I acknowledge that I have received and reviewed this Addendum

Vendor's Name (*please print*)

Representative's Name (*please print*)

Signature of Representative

Date

SECTION 1:
QUESTIONS & ANSWERS

1 | Question & Answer

Can the Submission Due Date be extended?

Yes. The Submission Due Date is extended to January 21, 2026 at 2:00 p.m.

2 | Question & Answer

Drawing D-101:

The court yard is an open-air space with no ceiling. Please clarify the construction detail for temp walls. Why do we even need them?

Disregard the details 2 and 3 on D-101 for dust/temporary protection walls. These are not required.

3 | Question & Answer

As the work is all in the court yard, can we close off the entire courtyard as a construction space and prohibit staff, faculty and student use of the space for the period of construction?

In addition to the “confined” work areas shown on drawing D-101, areas of the courtyard need to be available to the contractor for:

- 1) Staging new materials
- 2) Laydown for new light post
- 3) Saving fill and soil from the excavation pits
- 4) Possible trenches for power to each light pole
- 5) Storing and mixing concrete
- 6) Etc.

The entire courtyard will be reserved for construction only during this time. Courtyard area will be used for staging/laydown. Contractor to protect all floors, elevator cab as needed for hoisting materials to the work site.

4 | Question & Answer

Drawing A-101:

Architectural New Work Keyed Notes:

- 1) Note A02 states we are installing new wood posts; detail 1 shows metal light poles by Worthington. Please clarify.

Disregard reference to wood posts. That was leftover by error from a prior design option. Lights to be supported by metal poles as specified.

5 | Question & Answer

Drawing A-101:

Architectural New Work Keyed Notes:

- 1) Note A02 references a detail 2 on this sheet, this detail does not exist on the drawings we were issued, please clarify/provide.

Disregard reference to wood posts. That was leftover by error from a prior design option. Lights to be supported by metal poles as specified.

6 | Question & Answer

Drawing A-101:

Architectural New Work Keyed Notes:

- 1) Detail 1 – Post detail with connection: Manufacturer is seeking clarification for post thickness and material. Can A/E team provide spec for level bidding?

Contractor shall provide a steel pole per AASHTO 2013, Crane Associates has Utility Metals model number: RSS4-07-10. Decorative Base as per drawing: Worthington Series (or equivalent), Aluminum two piece. 4" round steel 0.18" (7 GA.) 10ft tall 92.6 lbs.

7 | Question & Answer

Drawing E-101

Electrical Keyed Note:

- 1) Note E05 refers to an enlarged floor plan, please provide.

The enlarged floor plan is detail 2 on E -101.

8 | Question & Answer

Drawing E-101

Electrical Keyed Note:

- 1) Can you provide a floor plan of the entire floor of the building, showing area of work and locations of electric closets, so we can review path and distances. The distances illustrated on the drawings are not representative of actual conditions on site.

See attached existing building first floor and crawlspace plans, A 100 and A 101. Existing Electric Room is Room 1107.

9 | Question & Answer

Drawing E-101

Electrical Keyed Note:

- 1) Please indicate path for installation of the electric conduits from the two electric closets to the court yard atrium.

See attached existing building first floor and crawlspace plans, A 100 and A 101. Existing Electric Room is Room 1107.

10 | Question & Answer

Drawing E-101:

The drawings seem to indicate we dig a trench from each light pole to the next, then from the last pole to the courtyard exterior wall, then how do you want the conduits to get to the electric closets? Surface mounted on exterior or interior walls? Trench the floor? Is there a basement? A general note of home run to panel without some path indicated and some discussion of the finishes to be disrupted is not enough of a scope for level bidding. There are high hard ceilings inside the building, carpeted floors, millwork on wall, etc. please clarify pathway and scope.

The courtyard is on earth, there is no slab underneath. The building foundation walls around the courtyard are the walls of the mechanical crawl space below. Conduit route will be through the crawlspace walls into the subsurface of the courtyard. See attached existing building first floor and crawlspace plans.

11 | Question & Answer

What finishes will be disturbed in bringing the new conduits from the electric closet to the work site locations?

See Question #10.

12 | Question & Answer

The festoon lights are not a big power draw. Can we tap into the existing power circuits in the landscape beds in the court yard rather than running home runs?

Proposals must be prepared based upon the scope of work in the bid drawings.

The option to tap into the existing power circuits in the landscape beds within the courtyard may be taken into consideration with the awarded Contractor. Final decision shall be made by the University.

If selected, the University would consider this option as a reduction in scope, and the Contractor would need to provide documentation detailing the reduced cost from the base bid.

13 Question & Answer

The project requires us to remove soil and plants. Will there be a requirement for the Contractor to replant the plants after the project is complete?

Contractor should take appropriate actions to minimize disturbance to plantings and protect the existing. The University will replace any damaged plantings after the lighting upgrade.

14 Question & Answer

There is a General Note G which states that the site must be returned to “as-is” conditions. We are requesting clarification as to what “as-in” conditions are.

Contractor should take appropriate actions to minimize disturbance to plantings, pavers and site furnishings. It is expected that all be returned to its original condition prior to mobilization.

15 Question & Answer

There is a note in the drawings referring to hazardous materials. Are there any hazardous materials expected? Will there be any need for soil testing for PFAS or other contaminants prior to excavation?

We do not expect any hazardous materials. Should Contractor suspect any during the course of the work, the University should be notified immediately to conduct testing if required.

16 Question & Answer

Note AD01 mentions that the soil would have to be stored off-site. Is it absolutely necessary that we store it off-site, or are there any other acceptable alternatives?

Disregard. All soils will be stored within the courtyard boundary and then dispersed into the same area.

17 Question & Answer

Drawing D-101 details 2 and 3 indicates dust and sound protection details. Please identify on the demo floor plan the locations/lengths of these dust protection barriers, and also the height of the existing ceiling. What is the purpose of these dust protection barriers as the work is being performed in the courtyard?

See Question #2.

18 | Question & Answer

Drawing A-101

Keyed Note No. 2 states, see details 2 and 3 in this sheet. Detail 2 is missing. Please provide this missing detail.

Disregard Keyed Note 2 and the reference details to wood posts. That was leftover by error from a prior design option. Lights to be supported by metal poles as specified details 1 and 3 on A-101.

If you submitted any question or inquiry to yuferr@montclair.edu by the due date indicated in the RFP Schedule of Events (or as modified through any other Addendum), but no response was provided herein, please contact the Procurement Services representative below, and provide the original outreach effort:

Robert Yufer, Associate Director of Strategic Sourcing
yuferr@montclair.edu

EXISTING BUILDING FIRST FLOOR AND CRAWLSPACE PLANS

(regarding questions 8 and 9 above)

