

# MONTCLAIR

## STATE UNIVERSITY

### STUDENT CENTER

#### LOBBY/ LOCKER AREA RENOVATION

#### UPPER MONTCLAIR, NJ

#### JRS ARCHITECT PROJECT #24165.00

#### MSU PROJECT #PR23077

### GENERAL NOTES

1. ALL WORK SHALL BE GOVERNED BY THE TERMS AND CONDITIONS OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AND THE REQUIREMENTS OF ALL APPROPRIATE PUBLIC AUTHORITY, REGULATORY AGENCIES, AND/OR LANDLORD.
2. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, REGULATIONS AND ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK INDICATED IN THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS, APPROVALS, CONTROLLED INSPECTIONS, AS WELL AS THEIR ASSOCIATED FEES, FOR ALL TRADES, EXCEPT WHERE SPECIFIED AND AGREED UPON ELSEWHERE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH BUILDING MANAGEMENT FOR ELEVATORS OR OTHER HOISTING FACILITIES FOR HANDLING MATERIALS AND REMOVAL OF DEMOLITION DEBRIS.
5. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH CONDITIONS THEREON AND TO DETERMINE THE EXTENT OF ALL FACILITIES AND SERVICES REQUIRED TO PERFORM THE WORK IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL MAINTAIN ONE COPY OF THE LATEST CONTRACT DOCUMENTS INCLUDING ALL CHANGES AT THE JOBSITE FOR THE USE OF THE ARCHITECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF ALL HIS/HER EMPLOYEES AND ALL SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK FOR THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED ANYWHERE WITHIN THE BOUNDARIES OF THE PROPERTY, AND ANY DAMAGE SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
9. DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL REGULARLY REMOVE ALL UNUSED MATERIAL, RUBBISH, AND DEBRIS FROM THE PROPERTY AND BROOM CLEAN DAILY. THE SITE AND PREMISES SHALL BE KEPT REASONABLY CLEAN, NEAT AND ORDERLY TO THE SATISFACTION OF THE OWNER.
10. THE CONTRACTOR SHALL CONTROL CLEANING OPERATIONS TO PREVENT DIRT OR DUST FROM LEAVING THE JOBSITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.
11. ALL SLAB DRILLING AND CUTTING SHALL BE DONE AFTER NORMAL BUSINESS HOURS OR AS DIRECTED IN WRITING BY THE OWNER.
12. RELOCATION AND/OR INTERRUPTION OF ANY BUILDING UTILITIES INCLUDING, BUT NOT LIMITED TO STEAM, CONDENSATE LINES, ELECTRICAL, PLUMBING, TELECOMMUNICATIONS, ETC., MUST BE COORDINATED WITH BUILDING MANAGEMENT AND BE PERFORMED AFTER NORMAL BUSINESS HOURS, OR AS DIRECTED BY THE OWNER.
13. THE CONTRACTOR SHALL PROVIDE ALL SLAB OPENINGS TO COMPLETE THE GENERAL CONSTRUCTION, HVAC, PLUMBING, SPRINKLER, ELECTRICAL AND ANY OTHER WORK REQUIRED BY THE CONTRACT DOCUMENTS.
14. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL REPORT ANY DISCREPANCIES AND/OR CONDITIONS WHICH WOULD INTERFERE WITH THE COMPLETION OF THE WORK TO THE ARCHITECT. COMMENCEMENT OF THE WORK SHALL SIGNIFY ACCEPTANCE OF ANY AND ALL JOBSITE CONDITIONS.
15. THE CONTRACTOR SHALL SUBMIT CUTS AND SAMPLES OF FINISHES FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING, FABRICATION, OR COMMENCEMENT OF THE WORK.
16. WHEN "APPROVED EQUAL," "EQUAL TO", OR WHERE OTHER QUALIFYING TERMS ARE USED, SUBSTITUTIONS SHALL BE BASED SOLELY UPON THE REVIEW AND APPROVAL OF THE ARCHITECT. THE BURDEN OF PROOF THAT A PRODUCT OR SYSTEM MEETS OR EXCEEDS THAT WHICH WAS SPECIFIED LIES ENTIRELY ON THE CONTRACTOR.
17. THE CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMISSION TO THE ARCHITECT FOR HIS REVIEW, AND PRIOR TO THE COMMENCEMENT OF THE WORK. SUBMITTAL SHALL BE IN THE FORM OF ONE (1) REPRODUCIBLE SEPIA TRANSPARENCY (POSITIVE SIDE UP), THREE (3) B&W PRINTS OF EACH DRAWING. SUBMIT FIVE (5) COPIES OF ALL CUTS.
18. ANNOTATIONS ON ANY PLAN, ELEVATION, SECTION, OR DETAIL ARE APPLICABLE TO ALL PLANS, ELEVATIONS, SECTIONS, AND DETAILS. DO NOT SCALE DRAWINGS. USE DIMENSIONAL NOTATIONS ONLY.
19. ALL DIMENSIONS ARE SHOWN TO FINISH SURFACES UNLESS OTHERWISE NOTED.
21. LARGE SCALE DRAWINGS (I.E. SECTIONS, DETAILS, ETC.) TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. SPECIFICATIONS TAKE PRECEDENCE OVER DRAWINGS.
22. ALL FIRE RATED AND SOUND ATTENUATING PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURE ABOVE, EXCEPT IF NOTED OTHERWISE.
23. WHERE A NEW PARTITION ALIGNS WITH AN EXISTING INTERIOR COLUMN ENCLOSURE THE OUTER LAYER OF GYPSUM BOARD SHALL BY-PASS AND BE LAMINATED TO THE EXISTING FINISH. ACCESS PANELS, ELECTRICAL DEVICES, ETC., SHALL BE RESET AS REQUIRED.
24. ALL NEW PARTITIONS SHALL MATCH EXISTING ADJACENT PARTITIONS IN REGARD TO CONSTRUCTION, MATERIAL RATING, AND FINISH, UNLESS OTHERWISE NOTED.
25. WHERE EXISTING WALLS, FLOORS, CEILINGS, ETC., ARE REMOVED, PATCH TO MATCH EXISTING FINISHES, TEXTURE, AND COLOR IN ADJACENT AREA.
26. WHERE MECHANICAL, ELECTRICAL OR PLUMBING DEVICES ARE REMOVED OR INSTALLED IN EXISTING PARTITIONS, THE CONTRACTOR SHALL FRAME AND PATCH TO MATCH ALL EXISTING ADJACENT MATERIALS, FINISHES AND FIRE RATINGS.
27. WHERE DUCTS, ELECTRICAL CONDUIT OR PLUMBING PIPING PASS THROUGH FLOORS, WALLS, OR CEILINGS; CLOSE OFF SPACE BETWEEN THE PIPE/DUCT AND THE CONSTRUCTION WITH NONCOMBUSTIBLE INSULATION AND PROVIDE SNUG FIT METAL ESCUTHEON CAPS ON BOTH SIDES AND CAULK.
28. ALL OUTLETS AND SWITCH PLATES ARE TO BE BUILDING STANDARD, UNLESS OTHERWISE NOTED.
29. THE CONTRACTOR SHALL PROVIDE WALL AND CEILING ACCESS PANELS AS REQUIRED BY THE MECHANICAL, ELECTRICAL AND PLUMBING WORK AS DIRECTED BY THE ARCHITECT.
30. THE CONTRACTOR SHALL REPAIR, CLEAN OR REPLACE AS REQUIRED ALL EXISTING ACCESS PANELS TO REMAIN WITHIN THE CONTRACT LIMITS AS DIRECTED BY THE ARCHITECT.
31. ALL DRAWINGS AND NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.
32. IN THE EVENT OF DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, THE ARCHITECT OF RECORD SHALL DECIDE WHICH DRAWING SHALL RULE. CONSTRUCTION AND/OR SCOPE OF WORK.
33. SHOULD ANY OF THE PARTITIONS TO BE REMOVED BE FOUND TO BE LOAD BEARING, NOTIFY THE ARCHITECT IMMEDIATELY OF THE CONDITIONS PRIOR TO PERFORMING ANY WORK.
34. THESE DOCUMENTS DO NOT AUTHORIZE THE REMOVAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. THE DETERMINATION OF THE PRESENCE, AND/OR REMOVAL OF THESE MATERIALS IS THE RESPONSIBILITY OF OTHERS.
35. PROVIDE A MINIMUM OF FOUR (4), 25 LB FIRE EXTINGUISHERS APPROVED FOR 'A', 'B' AND 'C' TYPE FIRES, TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN IN WORKING ORDER ON THE FLOORS WHEN CONTRACT WORK IS IN PROGRESS.
36. GENERAL CONTRACTOR TO OBTAIN A DEMOLITION PERMIT OR CONSTRUCTION PERMIT PRIOR TO THE COMMENCEMENT OF WORK. A COPY OF SUCH DOCUMENTS SHALL BE FURNISHED TO THE BUILDING MANAGER, OWNER TENANT AND THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.

### ABBREVIATIONS

A/C	AIR CONDITIONING
AC	ACOUSTICAL
ACC	ACCESS
ACT	ACOUSTICAL TILE
ADD	ADDENDUM
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECT (URAL)
AWP	ACCOUSTICAL WALL PANEL
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BO	BOTTOM OF
BRG	BEARING
BSMT	BASEMENT
CAB	CABINET
CB	CATCH BASIN
CCTV	CLOSED CIRCUIT T.V.
CEM	CEMENT
C	CARPET
CI	CAST IRON
CL	CLOSET
CLG	CEILING
CLR	CLEAR (ANCE)
C.J.	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CORR	CORRIDOR
CR	CHAIR RAIL
CT	CERAMIC TILE
DEMO	DEMOLITION
DET	DETAIL
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DL	DEAD LOAD
DN	DOWN
DP	DAMPPOOFING
DR	DOOR
DWG	DRAWING
DWR	DRAWER
E	EAST
EA	EACH
E.J.	EXPANSION JOINT
ELEC	ELECTRIC (AL)
ELEV	ELEVATION
EMERG	EMERGENCY
ENCL	ENCLOSE (ENCLOSURE)
EQ	EQUAL
EW	EACH WAY
EWC	ELECTRIC WATER COOLER
EXH	EXHAUST
EXIST	EXISTING
EXT	EXTERIOR
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FF	FINISHED FLOOR
FIN	FINISH (ED)
FIXT	FIXTURE
FLF	FLOOR FINISH
FLR	FLOOR (ING)
FP	FIREPROOF
FPSC	FIREPROOF SELF-CLOSING
FT	FEET
FTG	FOOTING
GA	GAGE, GAUGE
G.B.	GYPSUM BOARD
GC	GENERAL CONTRACT (OR)
GFI	GROUND FAULT INTERRUPT
GL	GLASS, GLAZING
GR	GROUT
GYP	GYPSUM
HC	HOLLOW CORE

HDR	HEADER
HDW	HARDWARE
HM	HEIGHT
HP	HIGH POINT
HT	HOLLOW METAL
HTG	HEATING
HVAC	HEATING VENTILATION & AIR CONDITIONING
IG	ISOLATED GROUND
IN	INCH
INSUL	INSULATION (D) (ION)
JC	JANITOR'S CLOSET
LAM	LAMINATE (D)
LAV	LAVATORY
LL	LIVELOAD
LP	LOW POINT
MAX	MAXIMUM
MECH	MECHANICAL
MFR (D)	MANUFACTURE (R) (D)
MIN	MINIMUM
MO	MASONRY OPENING
MTL	METAL
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
P	PAINT
PL	PLASTIC LAMINATE
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
R	RISER
RAD	RADIUS
RD	ROOF DRAIN
REF	REFERENCE
REFG	REFRIGERATOR
REINF	REINFORCED
RES	RESILIENT
RFG	ROOFING
RFM	RECESSED FLOOR MAT
RM	ROOM
RO	ROUGH OPENING
RT	RUBBER TREAD
S	SOUTH
SD	STORM DRAIN
SECT	SECTION
SF	SQUARE FOOT
SIM	SIMILAR
SPEC	SPECIFICATION
SPR	SPRINKLER
SP	STARTING POINT
SQ	SQUARE
ST	STONE
STD	STANDARD
STL	STEEL
STOR	STORAGE
SUSP	SUSPENDED
T	TREAD
TEL (E)	TELEPHONE
THK	THICK (NESS)
TO	TOP OF
TS	TRANSITION STRIP
U.S.	UNDERSIDE
VCT	VINYL COMPOSITION TILE
VDT	VIDEO DISPLAY TERMINAL
VIF	VERIFY IN FIELD
WC	WALL COVERING
W	WEST
W/	WITH
WB	WALL BASE
WCL	WATER CLOSET
WD	WOOD
WM	WIREMESH
W/O	WITHOUT
WP	WATERPROOFING
WWM	WELDED WIRE MESH

### BUILDING DEPARTMENT NOTES:

PROJECT SCOPE - DEMOLITION OF TWO EXISTING OFFICES AND COMBINING WITH EXISTING COMMON AREA TO CREATE A LARGER COMMON LOCKER/ LOBBY AND SHELVING AREA.

1. BUILDING OCCUPANCY - MIXED USE ASSEMBLY AND BUSINESS
2. FLOOR AREA - PROJECT AREA = 717 SF  
BUILDING AREA - N/C

### APPLICABLE CODES:

REHABILITATION SUBCODE OF THE UNIFORM CONSTRUCTION CODE OF NEW JERSEY NJAC 5:23-6  
2021 INTERNATIONAL BUILDING CODE-WITH NJ AMENDMENTS  
2017 ICC/ANSI A117-1 BARRIER FREE CODE UCC-NJ 5:23  
SUBCHAPTER 7  
2021 INTERNATIONAL MECHANICAL CODE  
2021 INTERNATIONAL FUEL GAS CODE  
2019 ASHRAE 90.1 2019 ENERGY CONSERVATION  
2020 NATIONAL ELECTRIC CODE  
2017 INTERNATIONAL FIRE CODE  
2021 NATIONAL STANDARD PLUMBING CODE  
2021 NFPA 101 LIFE SAFETY CODE

### INSPECTIONS:

1. CONTRACTOR(S) AND THEIR RESPECTIVE SUB CONTRACTORS AND/OR CONSULTANTS SHALL BE RESPONSIBLE FOR COORDINATING AND OBTAINING ALL REQUIRED BUILDING DEPARTMENT INSPECTIONS AND SIGN-OFFS FROM A CITY, TOWN, VILLAGE, OR COUNTY THAT IS RESPONSIBLE FOR ADMINISTRATION AND ENFORCEMENT OF THE BUILDING CODE OF NEW JERSEY STATE AND SUBMIT THIS INFORMATION/DOCUMENTATION TO THE ARCHITECT/ENGINEER OF RECORD.
2. CONSULT MSU CODE DEPARTMENT FOR THE REQUIRED INSPECTIONS.

### DRAWING LIST:

#### ARCHITECTURAL

T-1.01	TITLE SHEET AND NOTES
G-1.00	GENERAL NOTES
A-1.00	EGRESS PLAN
A-1.01	REMOVAL & CONSTRUCTION PLAN
A-1.02	REFLECTED CEILING & POWER PLAN
A-1.03	FINISH PLAN
A-3.01	ELEVATIONS, DOOR SCHEDULE AND DETAILS

### ARCHITECTURAL SYMBOLS

EXISTING TO REMAIN

EXISTING TO BE REMOVED

PROPOSED GYP. BD. PARTITION

PROPOSED LOW HEIGHT GYP. BD. PARTITION

EXISTING DOOR TO REMAIN

EXISTING DOOR & FRAME TO BE REMOVED

PROPOSED DOOR & FRAME

PARTITION TYPE

DOOR NUMBER

WINDOW NUMBER

KEYNOTE

ROOM NAME

ROOM NUMBER

WORKSTATION NUMBER

CENTER LINE

PLATE

AT

ELEVATION NUMBER

DRAWING SHEET

SECTION LETTER

DRAWING SHEET

DETAIL NUMBER

DRAWING SHEET

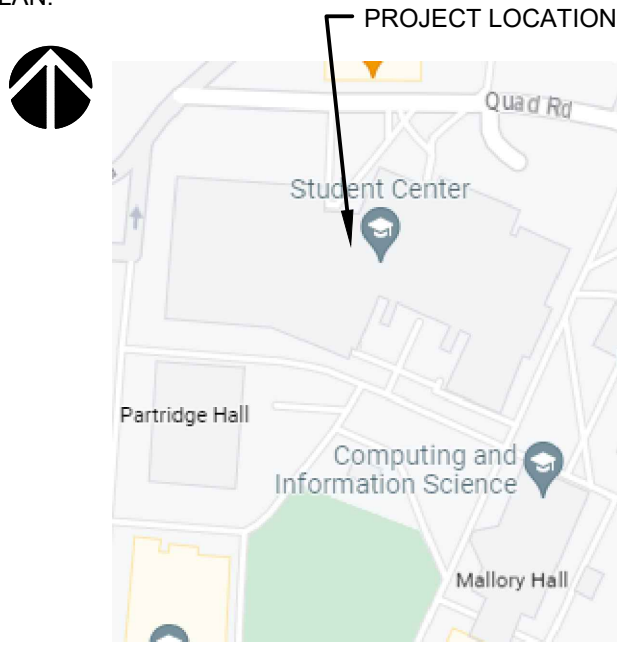
LEVEL ELEVATION

CEILING HEIGHT ABOVE FINISHED FLOOR

START POINT

COLUMN NUMBER

KEY PLAN:



SECTION: SEC

BLOCK: BLOCK

LOT: LOT

CONSULTANTS:

COMMENTS:

DATE	DESCRIPTION
08/6/2025	ISSUED FOR BID

REVISIONS :

REV.	DATE	DESCRIPTION
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CLIENT INFORMATION:

## MONTCLAIR

### STATE UNIVERSITY

STUDENT CENTER - LOBBY / LOCKER AREA  
MSU PROJECT # PR23077  
1 NORMAL AVENUE  
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THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF BDG ARCHITECTS. ANY INFRINGEMENTS OR ALTERATIONS BY OTHERS ARE PROHIBITED.

DRAWING TITLE:

TITLE SHEET AND NOTES

DRAWN BY: HM	DATE: 01/28/25
CHECKED BY: CR	SCALE: AS NOTED

FILE NAME:

24165.00-T1.01.DWG

BDG NUMBER:

24165.00

SHEET NUMBER:

T-1.01



## GENERAL REMOVAL NOTES:

- REFER TO T1.01 FOR ADDITIONAL INFORMATION AND LEGENDS.
- ABIDE BY THE STANDARD RULES AND REGULATIONS SET FORTH BY THE BUILDING MANAGEMENT. G.C. SHALL NOTIFY TENANT/OWNER OF NEED FOR ANY INTERRUPTIONS IN UTILITY SERVICE. NOTIFY TENANT/OWNER AT LEAST 72 HOURS IN ADVANCE.
- ALL BUILDING SERVICES, LIGHT, POWER, HVAC, ETC. MUST BE PROTECTED AND REMAIN "LIVE" DURING CONSTRUCTION IN ORDER NOT TO DISTURB NORMAL BUSINESS.
- PROVIDE A MINIMUM OF TWO (2) 2.5 LB FIRE EXTINGUISHERS APPROVED FOR 'A', 'B' AND 'C' TYPE FIRES, TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN IN WORKING ORDER WHEN CONTRACT WORK IS IN PROGRESS.
- IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM PROJECT AREA AFTER A MAJOR DEMOLITION OPERATION BEFORE COMMENCEMENT OF THE NEXT NORMAL WORKING DAY.
- DO NOT MIX RUBBISH WITH THAT OF THE BUILDING OCCUPANTS. ALL REMOVALS SHALL BE COORDINATED WITH BUILDING MANAGER.
- DEMOLITION AND REMOVAL OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
- DEMOLITION SHALL BE DONE IN A NEAT WORKMAN LIKE MANNER, WITHIN THE LIMITS INDICATED ON THE DRAWINGS, AND IN ALL CASES, TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
- CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AND POWER TO ACCOMMODATE BOTH REMOVAL OF EXISTING AND INSTALLATION OF NEW WORK.
- G.C. TO OBTAIN A DEMOLITION PERMIT OR CONSTRUCTION PERMIT PRIOR TO THE COMMENCEMENT OF WORK. A COPY OF SUCH DOCUMENTS SHALL BE FURNISHED TO THE BUILDING MANAGER, OWNER TENANT AND THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- INSPECT, TEST AND DISCONNECT UTILITY SERVICES AND MAIN SOURCE OR MAIN BRANCH WITHOUT DISRUPTING UTILITY SERVICES FOR OTHER BUILDING TENANTS. UTILITY SERVICES TO REMAIN FOR THESE TENANTS, SECURELY CAP AND/OR VALVE OFF UTILITY SERVICE BEHIND FINISHED SURFACES OF INTENDED CONSTRUCTION PRIOR TO DEMOLITION OPERATIONS. UTILITY SERVICES SHALL BE DEFINED AS PLUMBING, ELECTRICAL, CHILLED WATER, CONDENSER WATER, AND GAS. EXISTING ELECTRIC FEEDS TO EXISTING LIGHTS TO BE REUSED WHEREVER POSSIBLE.
- PROVIDE AND MAINTAIN CARPET MATS IN FRONT OF ALL BASE BUILDING DOORWAYS USED BY CONSTRUCTION WORKERS FOR ACCESS, SUCH AS EXIT STAIR DOORWAYS AND THE LIKE. CARPET MATS SHALL BE LARGE ENOUGH TO PREVENT THE HAULING/SPREADING OF DIRT THROUGH THE BASE BUILDING PREMISES AND ELEVATOR CABS.

## GENERAL CONSTRUCTION NOTES:

- AS PART OF THIS CONTRACT, GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OPEN AND CLOSE ALL EXISTING CONSTRUCTION WITHIN AND OUTSIDE OF THE IMMEDIATE PROJECT SCOPE WHERE REQUIRED IN ORDER TO COMPLETE THE SPECIFIED WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO ELECTRICAL CIRCUITING AND ROUGHING, PLUMBING LINES, SPRINKLER LINE, HVAC DUCTWORK AND CONTROLS, ETC.
- PROVIDE PROPER BLOCKING IN STUD WALLS WHERE FIXTURES, DEVICES, OR EQUIPMENT ARE TO BE MOUNTED. ALL WOOD BLOCKING TO BE FIRE RESISTANT TREATED. COORDINATE WITH ARCHITECT, AND COMPLY WITH ADA LAW.
- VERIFY ALL DIMENSIONS, BOTH HORIZONTAL AND VERTICAL, PRIOR TO CONSTRUCTION IN ALL AREAS OF PROJECT. NOTIFY ARCHITECT IF ANY DISCREPANCIES SHOULD OCCUR.

## ELECTRICAL NOTES:

- ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE, REVIEW ARCHITECTURAL DRAWINGS AND BE RESPONSIBLE FOR REVIEWING A FULL SET OF BID DOCUMENTS TO MAKE HIMSELF AWARE OF THE TOTAL JOB BEFORE SUBMITTING HIS PRICE.
- VERIFY ALL EXISTING SITE CONDITIONS IN THE FIELD AND INCLUDE IN THE BID, THE PRICE OF ALL WORK REQUIRED.
- ALL WORK SHALL BE INSTALLED CONCEALED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY DIMENSIONS OF FINISHED CONSTRUCTION PRIOR TO FABRICATION AND INSTALLATION OF FIXTURES AND EQUIPMENT.
- ELECTRICAL CONTRACTOR SHALL SUBMIT SAMPLES OF RECEPTACLES AND PLATES TO THE ARCHITECT FOR APPROVAL BEFORE MAKING HIS INSTALLATION.
- CONTRACTOR SHALL, AFTER HIS WORK IS COMPLETED, TEST THE ELECTRICAL DISTRIBUTION SYSTEM FOR SHORT CIRCUITS, LOOSE WIRING, ETC., TO THE SATISFACTION OF THE OWNER. ALL COSTS FOR THIS TEST SHALL BE BORNE BY THE CONTRACTOR.
- WIRING IN AIR PLENUM HUNG CEILINGS INSTALLED WITHOUT CONDUIT OR EMT SHALL BE TEFLON JACKETED AND PLENUM RATED.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL RACEWAYS AND WIRING FROM EQUIPMENT AND DEVICES TO THEIR SOURCE OF POWER.
- WHERE EQUIPMENT, LIGHTING FIXTURES AND WIRING DEVICES ARE SHOWN THE MINIMUM BRANCH CIRCUITING REQUIREMENTS SHALL BE AS FOLLOWS:
  - LIGHTING FIXTURES - 2#12, 1#12 GRD. - 3/4"C.
  - RECEPTACLES - 2#12, 1#12 GRD. - 3/4"C.
- HOMERUNS TO PANEL BOARDS SHALL CONTAIN NO MORE THAN (3) CIRCUITS NEUTRAL CONDUCTORS FOR ALL LIGHTING AND OFFICE POWER. MULTI-CIRCUIT HOMERUNS SHALL BE SIZED ONE TRADE SIZE LARGER THAN PHASE CONDUCTORS, MINIMUM #10 AWG (EXAMPLE: 3#12, 1#10N, 1#12GRD - 3/4"C)
- WHERE LIGHTING SWITCH INDICATIONS ARE NOT SHOWN, SWITCHES SHALL BE CONNECTED TO CONTROL ALL SWITCHED FIXTURES WITHIN THE CORRESPONDING SPACE.

## GENERAL FINISH NOTES:

### WALLS

### PAINT

- ALL EXISTING AREAS TO BE PAINTED SHALL BE CLEAN, FREE OF GREASE, SOIL AND DUST AND PROPERLY PREPARED TO ACCEPT NEW SPECIFIED PAINT FINISH. FILL ALL HOLES, DENTS AND CRACKS.
- SURFACES SHALL BE SANDED AS REQUIRED TO PROVIDE SMOOTH SURFACES.
- THE PROPER UNDERCOAT OF PAINT SHALL BE APPLIED AS REQUIRED FOR PROPER ADHESION AND APPLICATION OF FINISH COAT.
- ALL AREAS TO BE REPAINTED SHALL RECEIVE A MINIMUM OF ONE (1) COAT OF PAINT TO COVER UNLESS NOTED OTHERWISE.
- ALL AREAS OF NEW WORK (PATCHING ETC.) SHALL BE (3) COATS- (1) COAT PRIMER AND (2) FINISH COATS
- PAINT FOR PRIMER COAT ON ACCENT WALLS SHALL BE AS SPECIFIED BY PAINT MANUFACTURER FOR COMPLETE COVERAGE OF EXISTING COLOR ON WALL.
- ALL WALLS TO BE PAINTED, SHALL BE IN EGG SHELL FINISH OR MANUFACTURER'S EQUAL UNLESS NOTED OTHERWISE.
- ALL DOOR FRAMES SHALL BE PAINTED IN SAME COLOR AS DOOR. FINISH: SEMI-GLOSS.
- ALL DOORS AND DOOR FRAMES SHALL BE PAINTED IN CODE AS SPECIFIED. FINISH: SEMI-GLOSS.
- ALL DOORS AND DOOR FRAMES SHALL BE THE SAME COLOR AS WALL IT IS ON UNLESS NOTED OTHERWISE. FINISH: SEMI-GLOSS.
- ALL CLOSET INTERIORS SHALL BE PAINTED TO MATCH ADJACENT WALL(S) FINISH, UNLESS NOTED OTHERWISE.
- ALL SOFFITS AND FACIAS SHALL BE PAINTED CODE AS SPECIFIED. FINISH: FLAT.
- ALL SOFFITS AND FACIAS SHALL HAVE WALLCOVERING AND/OR PAINT AS INDICATED ON ARCHITECT'S DRAWING. PAINT FINISH SHALL BE FLAT OR EQUAL.
- WHERE APPLICABLE, WALL FINISHES SHALL BE COMPLETED PRIOR TO INSTALLATION OF WALL BASE.
- ALL MATERIAL AND EQUIPMENT TO BE ELECTROSTATICALLY PAINTED SHALL BE WASHED WITH DETERGENT TO REMOVE ALL GREASE, GRIME AND DIRT. RUST SPOTS SHALL BE SANDED TO REMOVE RUST PARTICLES. AREA SHALL BE PRIMED AS REQUIRED BEFORE FINISH COAT OF PAINT IS APPLIED. PAINT SHALL BE APPLIED BY THE ELECTROSTAT PROCEDURE. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AREA FREE OF "PAINT DUST".
- SUBMIT A 5" X 5" PAINT COLOR CHIP FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING OR COMMENCEMENT OF WORK.
- UPON COMPLETION OF A ROOM OR AREA IT SHALL BE LEFT IN A CLEAN AND ORDERLY CONDITION WITH ALL USED PAINT EQUIPMENT PROPERLY DISPOSED OF. PAINT SPLATTERS SHALL BE REMOVED FROM ALL WINDOW GLASS AND ALL SURFACES NOT BEING PAINTED.
- ALL SURFACES TO BE PAINTED SHALL BE LOAD TESTED TO INSURE THE ADDITIONAL LAYERS OF PAINT WILL ADHERE PROPERLY PRIOR TO THE START OF PAINTING.

## SURFACE PREPARATION STANDARDS:

### PREVIOUSLY COATED SURFACES..... S-W 12

MAINTENANCE PAINTING WILL FREQUENTLY NOT PERMIT OR REQUIRE COMPLETE REMOVAL OF ALL OLD COATINGS PRIOR TO REPAINTING. HOWEVER, ALL SURFACE CONTAMINATION SUCH AS OIL, GREASE, LOOSE PAINT, MILL SCALE DIRT, FOREIGN MATTER, RUST, MOLD, MILDEW, MORTAR, EFFLORESCENCE, AND SEALERS MUST BE REMOVED TO ASSURE SOUND BONDING TO THE TIGHTLY ADHERING OLD PAINT. GLOSSY SURFACES OF OLD PAINT FILMS MUST BE CLEAN AND DULL BEFORE REPAINTING. THOROUGH WASHING WITH AN ABRASIVE CLEANSER WILL CLEAN AND DULL IN ONE OPERATION, OR, WASH THOROUGHLY AND DULL BY SANDING. SPOT PRIME ANY BARE AREAS WITH AN APPROPRIATE PRIMER. RECOGNIZE THAT ANY SURFACE PREPARATION SHORT OF TOTAL REMOVAL OF THE OLD COATING MAY COMPROMISE THE SERVICE LENGTH OF THE SYSTEM. CHECK FOR COMPATIBILITY BY APPLYING A TEST PATCH OF THE RECOMMENDED COATING SYSTEM, COVERING AT LEAST 2 TO 3 SQUARE FEET. ALLOW TO DRY ONE WEEK BEFORE TESTING ADHESION PER ASTM D3359. IF THE COATING SYSTEM IS INCOMPATIBLE, COMPLETE REMOVAL IS REQUIRED PER ASTM D4259.

### SSPC-SP2 - HAND TOOL CLEANING

HAND TOOL CLEANING REMOVES ALL LOOSE MILL SCALE, LOOSE RUST, AND OTHER DETRIMENTAL FOREIGN MATTER. IT IS NOT INTENDED THAT ADHERENT MILL SCALE, RUST, AND PAINT BE REMOVED BY THIS PROCESS. MILL SCALE, RUST, AND PAINT ARE CONSIDERED ADHERENT IF THEY CANNOT BE REMOVED BY LIFTING WITH A DULL PUTTY KNIFE. BEFORE HAND TOOL CLEANING, REMOVE VISIBLE OIL, GREASE, SOLUBLE WELDING RESIDUES, AND SALTS BY THE METHODS OUTLINED IN SSPC-SP1.

### SSPC-SP3 - POWER TOOL CLEANING

POWER TOOL CLEANING REMOVES ALL LOOSE MILL SCALE, LOOSE RUST, AND OTHER DETRIMENTAL FOREIGN MATTER. IT IS NOT INTENDED THAT ADHERENT MILL SCALE, RUST, AND PAINT BE REMOVED BY THIS PROCESS. MILL SCALE, RUST, AND PAINT ARE CONSIDERED ADHERENT IF THEY CANNOT BE REMOVED BY LIFTING WITH A DULL PUTTY KNIFE. BEFORE POWER TOOL CLEANING, REMOVE VISIBLE OIL, GREASE, SOLUBLE WELDING RESIDUES, AND SALTS BY THE METHODS OUTLINED IN SSPC-SP1. FOR COMPLETE INSTRUCTIONS, REFER TO STEEL STRUCTURES PAINT 1. COUNCIL SURFACE PREPARATION SPECIFICATION NO.3.

### LVT FLOORING

#### CONTRACTOR SHALL:

- SUPPLY FIRST CLASS WORKMANSHIP.
- PREPARE SURFACE AS REQUIRED TO RECEIVE SPECIFIED TILE FOLLOWING TILE MANUFACTURER'S SPECIFICATION.
- INSTALL TILE WITH SPECIFIED ADHESIVE AS RECOMMENDED BY MANUFACTURER.
- INSTALL THE RECOMMENDED TRIM WHERE REQUIRED.
- LAY OUT ALL TILE WORK SO AS TO MINIMIZE CUTS LESS THAN ONE HALF TILE IN SIZE.
- LOCATE TILE CUTS SO AS TO BE LEAST CONSPICUOUS.
- KEEP THE FACES OF THE TILE AS CLEAN AND FREE FROM ADHESIVE AS POSSIBLE TO FACILITATE CLEANUP. EXCESS ADHISIVE SHALL BE REMOVED.
- ENSURE THAT FINAL CLEANUP SHALL REMOVE ALL RESIDUE FOLLOWING DIRECTION FOR CLEAN UP SPECIFIED BY THE MANUFACTURER.
- ENSURE THAT TILE SHALL BE FLUSH WITH ADJACENT FLOOR COVERING.
- INSTALL TRANSITIONS AT TERMINATIONS TO ADJACENT FLOORING.
- CLEAN SURFACE TO BE TILED TO BE CLEAN AND FREE OF FOREIGN MATTER.
- ENSURE THAT SURFACES TO BE TILED SHALL BE LEVEL AS REQUIRED BY SPECIFIED TILE MANUFACTURER TO ENSURE A PROPER INSTALLATION.
- DETERMINE THE LOCATION OF ALL EXPANSION JOINTS BEFORE STARTING TILE WORK.
- EXISTING FLOOR COVERINGS
- MUST BE SINGLE LAYERED, NON-CUSHION BACKED, FULLY ADHERED, AND SMOOTH.
- SHOW NO SIGNS OF MOISTURE OR ALKALINE.
- WAXES, POLISHES, GREASE, AND GRIME MUST BE REMOVED.
- CUTS, CRACKS, GOUGES, DENTS AND OTHER IRREGULARITIES IN THE EXISTING FLOOR COVERING MUST BE REPAIRED OR REPLACED.
- NOTE: THE RESPONSIBILITY OF DETERMINING IF THE EXISTING FLOORING IS SUITABLE TO BE INSTALLED OVER TOP OF WITH RESILIENT, RESTS SOLELY WITH INSTALLER/FLOORING CONTRACTOR ON SITE. IF THERE IS ANY DOUBT AS TO SUITABILITY, THE EXISTING FLOORING SHOULD BE REMOVED, OR AN ACCEPTABLE UNDERLAYMENT INSTALLED OVER IT. INSTALLATIONS OVER EXISTING RESILIENT MAY BE MORE SUSCEPTIBLE TO INDENTATION.

### INSTALLING PLANK/TILES

- INSTALLING OUT OF MULTIPLE BOXES IS RECOMMENDED.
- PLANK OR TILES MUST BE INSTALLED JOINT-TIGHT AND TENSION-FREE.
- FLOORING SHOULD HAVE A MINIMUM OF 6 – 8" SEAM STAGGER.
- MAKE SURE CUT EDGES ARE ALWAYS AGAINST THE WALL.
- TO PROPERLY CUT THE FLOORING, SCORE THE TOP SIDE OF THE MATERIAL WITH A UTILITY KNIFE. BEND THE PRODUCT AND FINISH THE CUT THROUGH THE BACKSIDE. THIS WILL ENSURE THE CLEANEST CUT.
- ROLL THE PLANK OR TILE WITH A 3 SECTION 100 LB. ROLLER. RE ROLL THE ENTIRE GLUED FLOORING AREA WITH THE 100 LB. ROLLER WITHIN THE WORKING TIME OF THE ADHESIVE. CONTINUE TO ROLL THE FLOOR THROUGHOUT THE WORKING DAY TO ENSURE A PROPER BOND.
- NOTE: ADHERING TAPE TO THE SURFACE OF THE FLOORING COULD DAMAGE THE SURFACE. DO NOT USE TAPE TO SECURE FLOOR PROTECTION DIRECTLY TO THE FLOORING SURFACE DURING CONSTRUCTION OR RENOVATION. ADHERE TAPE TO THE PROTECTION MATERIAL, SUCH AS RAMBOARD, AND ADHERE THE TAPE TO BASE MOLDING ALONG THE WALL.
- NOTE: RECOMMENDED TO USE FLOOR PROTECTION AFTER INSTALLATION. DO NOT USE A PLASTIC ADHESIVE-BASED PROTECTION SYSTEM.

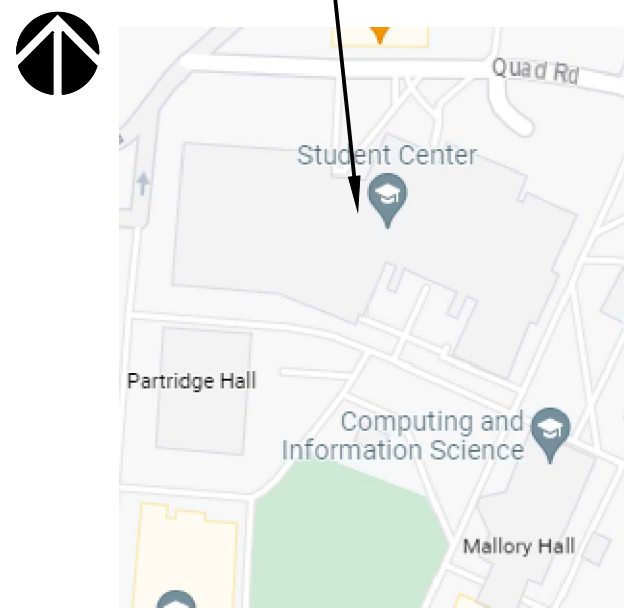
### WALL BASE

- CONTRACTOR SHALL:
  - REMOVE ALL EXISTING WALL BASE IN AREA RECEIVING NEW FLOOR COVERING AND REPLACE WITH NEW AS SPECIFIED BY THE ARCHITECT.
- INSTALL WALL BASE AFTER WALL FINISHES HAVE BEEN COMPLETED.
- REPLACE DAMAGED AND/OR ADD ADDITIONAL WALL BASE AS REQUIRED IN PROJECT AREA.
- INSTALL COVE BASE IN AREAS HAVING V.C.T., RUBBER TILE AND PAINTED FLOOR.
- INSTALL STRAIGHT BASE IN AREAS HAVING CARPET, UNLESS NOTED OTHERWISE.
- MATCH NEW WALL BASE IN QUALITY AND COLOR TO EXISTING IN PROJECT AREA, UNLESS NOTED OTHERWISE.
- APPLY ADHESIVE OF THE QUALITY AS RECOMMENDED BY MANUFACTURER.

### GYPSUM BOARD FINISH STANDARDS

- LEVEL 4 IS REQUIRED OTHERS PROVIDED AS A REFERENCE
- CONTRACTOR SHALL FINISH GYPSUM BOARD SURFACES AS FOLLOWS:
- LEVEL 0  
NO TAPING, FINISHING OR ACCESSORIES REQUIRED.
  - LEVEL 1  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE SET IN JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE.
  - LEVEL 2  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH A COAT OF JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE. JOINT COMPOUND APPLIED OVER THE BODY OF THE TAPE AT THE TIME OF TAPE EMBEDMENT SHALL BE CONSIDERED A SEPARATE COAT OF JOINT COMPOUND AND SHALL SATISFY THE CONDITIONS OF THIS LEVEL.
  - LEVEL 3  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND ONE ADDITIONAL COAT OF JOINT COMPOUND APPLIED OVER ALL JOINTS AND INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH TWO SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.
  - LEVEL 4 (SHALL BE PROVIDED FOR ALL PATCHING AND NEW WORK)  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.
  - LEVEL 5  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. A THIN SKIM COAT OF JOINT COMPOUND OR A MATERIAL MANUFACTURED ESPECIALLY FOR THIS PURPOSE, SHALL BE APPLIED TO THE ENTIRE SURFACE. THE SURFACE SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINISH PAINT. SEE PAINTING SPECIFICATION IN THIS REGARD.

KEY PLAN:



SECTION: SEC BLOCK: BLOCK LOT: LOT

CONSULTANTS:

COMMENTS:

DATE	DESCRIPTION
08/6/2025	ISSUED FOR BID

REVISIONS :

REV.	DATE	DESCRIPTION

CLIENT INFORMATION:

**MONTCLAIR**  
STATE UNIVERSITY

STUDENT CENTER - LOBBY / LOCKER AREA  
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DRAWING TITLE:

GENERAL NOTES

DRAWN BY: HM	DATE: 01/28/25
CHECKED BY: CR	SCALE: AS NOTED
FILE NAME:	
BDG NUMBER: 24165.00	
SHEET NUMBER: G-1.00	



NOTES: #

- PER NFPA 7.10.8.3.1 ANY DOOR, PASSAGE, OR STAIRWAY THAT IS NEITHER AN EXIT NOR A WAY OF EXIT ACCESS AND THAT IS LOCATED OR ARRANGED SO THAT IT IS LIKELY TO BE MISTAKEN FOR AN EXIT SHALL BE IDENTIFIED BY A SIGN THAT READS AS FOLLOWS: NO EXIT
- PER NFPA 7.10.8.3.2 THE NO EXIT SIGN SHALL HAVE THE WORD NO IN LETTERS 2 IN. (51 MM) HIGH, WITH A STROKE WIDTH OF 3/8 IN. (9.5 MM), AND THE WORD EXIT IN LETTERS 1 IN. (25 MM) HIGH, WITH THE WORD EXIT BELOW THE WORD NO, UNLESS SUCH SIGN IS AN APPROVED EXISTING SIGN.
- FURNITURE NOTE: ALL FURNITURE WILL BE PURCHASED BY THE CONTRACTOR. LOCKERS WILL BE PROVIDED AND INSTALLED BY THE LOCKER VENDOR PITNEY BOWES.

FIRE EXTINGUISHER :

FE	2A RATED FIRE EXTINGUISHER MOUNTED WITH WALL BRACKET, MOUNT TOP AT 48" A.F.F.
<ul style="list-style-type: none"><li>FIRE EXTINGUISHERS SHALL BE SPACED SO TRAVEL DISTANCE TO A EXTINGUISHER DOES NOT EXCEED 75' MAX</li><li>FLOOR AREA PER EXTINGUISHER TO BE 11,250 MAX</li><li>INSTALL FIRE EXTINGUISHERS COMPLYING WITH NFPA 10</li></ul>	

KEY PLAN:

SECTION: SEC BLOCK: BLOCK LOT: LOT

CONSULTANTS:

COMMENTS:

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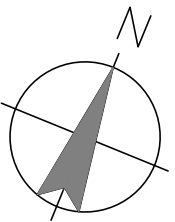
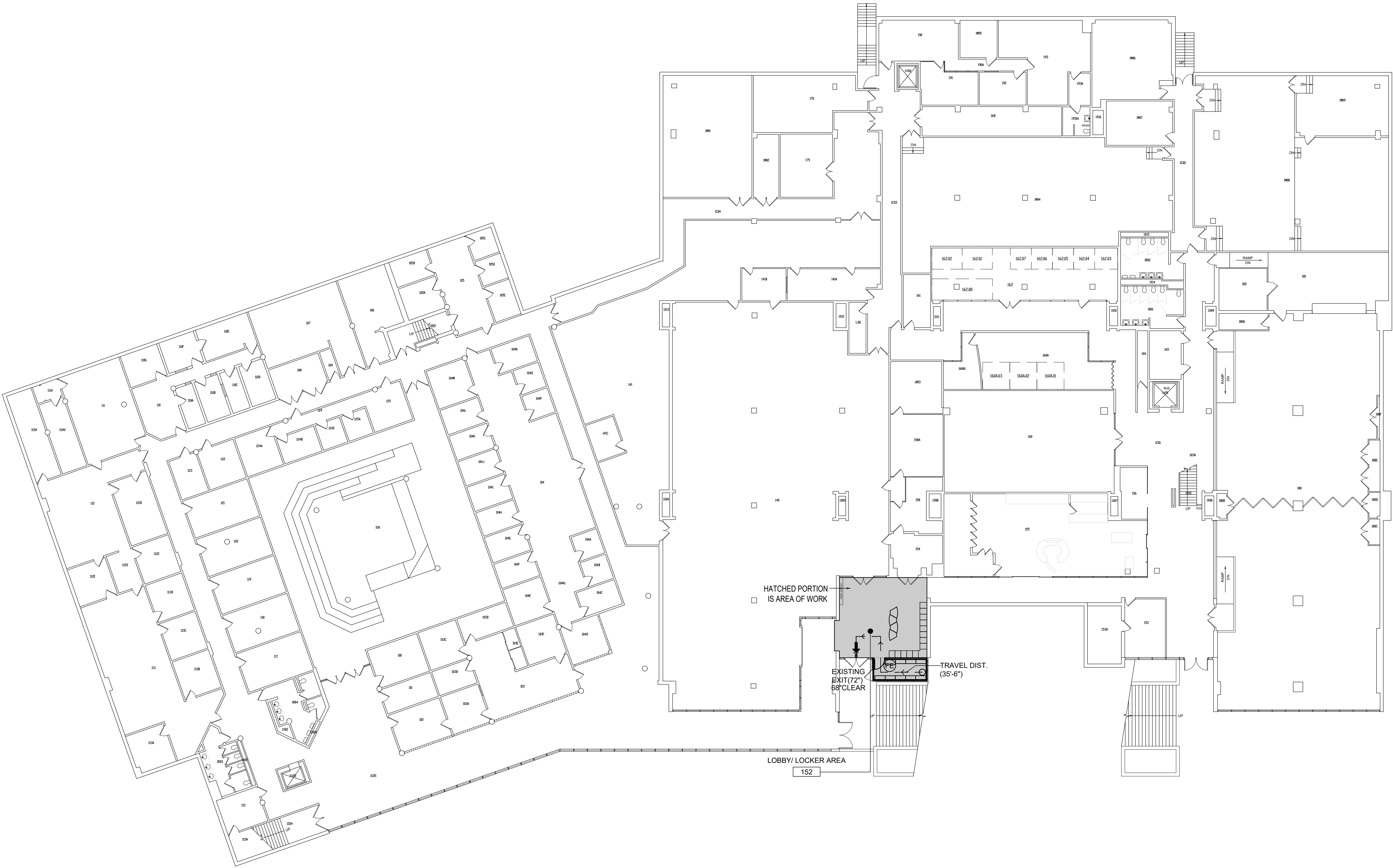
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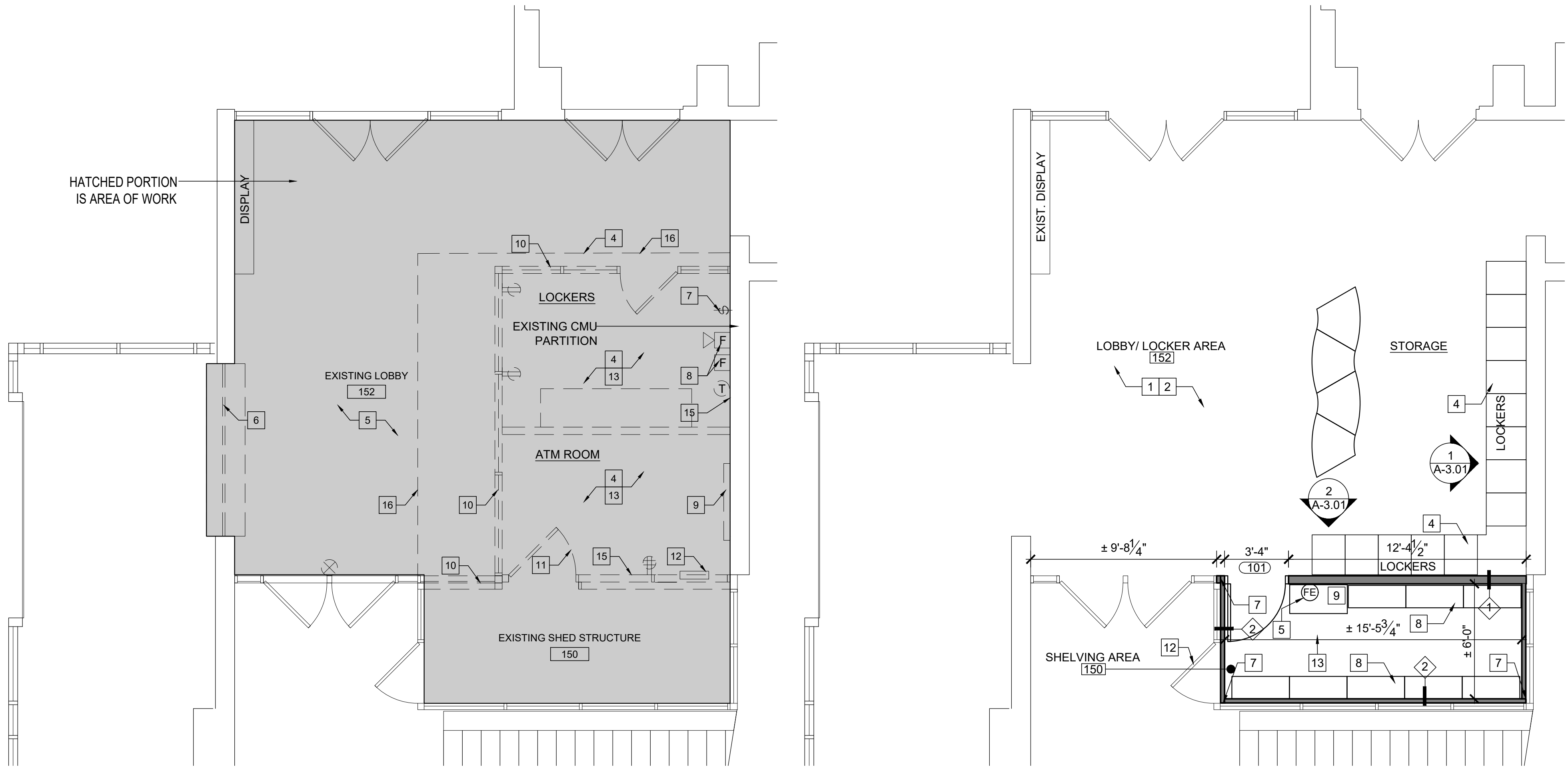
DRAWING TITLE:

EGRESS PLAN

DRAWN BY: HM	DATE: 01/28/25
CHECKED BY: CR	SCALE: AS NOTED
FILE NAME:	
BDG NUMBER: 24165.00	
SHEET NUMBER: A1.00	







1

## REMOVAL PLAN

SCALE: 1/4" = 1'-0"

2

## CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

## REMOVAL NOTES:

# REFERS TO KEYNOTE

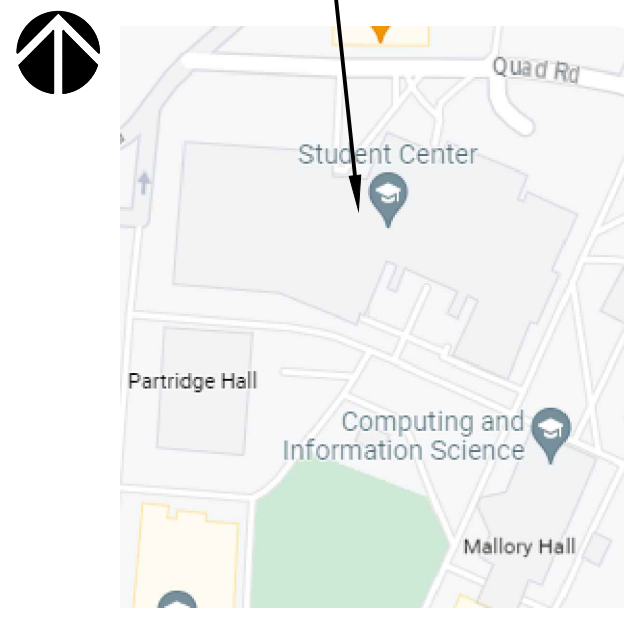
- REFER TO T1.01 FOR ADDITIONAL INFORMATION AND LEGENDS.
- ALL EXISTING FIRE ALARM DEVICES TO REMAIN U.O.N, PROTECT ALL DEVICES TO REMAIN AND COVER WITH PROTECTIVE HOUSING TO PREVENT DAMAGE AND DUST INFILTRATION.
- PROTECT EXISTING DOORS, FRAMES AND HARDWARE TO REMAIN U.O.N.
- FLASH PATCH EXISTING FLOOR SLAB AS REQUIRED TO PREPARE FLOOR TO A SMOOTH AND LEVEL SURFACE TO RECEIVE NEW LVT FLOORING ON TOP OF EXISTING FLOORING. SEE FINISH PLAN A1.03 FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING ACOUSTICAL CEILING TILES, GRID AND LIGHTING IN AREAS OF NEW CONSTRUCTION. EXISTING SMOKE DETECTORS AND WIFI TO REMAIN. PATCH ANY SURFACES DISTURBED FROM REMOVAL OF PREVIOUS CONSTRUCTION AS REQUIRED AND INFILL IF GAPS IN CONSTRUCTION ARE LEFT.
- REMOVE EXISTING ROLL DOWN DOOR IN ITS ENTIRETY. PATCH AND REPAIR CEILING AND WALLS IN AREAS DISTURBED FROM REMOVAL AS REQUIRED.
- REMOVE AND RELOCATE EXISTING T STAT AND LIGHT SWITCH. ALL SURFACE MOUNTED DEVICES AND CONDUITS SHALL BE REMOVED W/ THEY WILL CONFLICT WITH THE NEW LOCKERS. PATCH AND REPAIR WALLS AS REQUIRED AFTER REMOVAL TO RECEIVE NEW FINISHES.
- EXISTING FIRE ALARM HORN/ STROBE TO REMAIN. ADJUST HEIGHT AS REQUIRED TO WORK WITH NEW LOCKERS. RELOCATE EXISTING PULL STATION ADJACENT TO EGRESS DOORS. PATCH AND REPAIR WALLS AS REQUIRED AFTER REMOVAL TO RECEIVE NEW FINISHES.
- REMOVE EXISTING WALL HEATER. PULL WIRING BACK TO SOURCE AND CAP. PATCH AND REPAIR WALLS AS REQUIRED AFTER REMOVAL TO RECEIVE NEW FINISHES.
- REMOVE EXISTING OFFICE STOREFRONT GLAZING IN ITS ENTIRETY.
- EXISTING DOOR TO BE REMOVED IN ITS ENTIRETY.
- REMOVE EXISTING POWER AND SECURITY PANEL. PULL BACK WIRING TO SOURCE AND CAP. PATCH AND REPAIR WALLS AS REQUIRED AFTER REMOVAL TO RECEIVE NEW FINISHES.
- REMOVE ALL EXISTING MILLWORK, SHELVING, LOCKERS, ETC. IN ITS ENTIRETY.
- ALL EXISTING SPRINKLER HEADS TO REMAIN.
- CONTRACTOR SHALL ENSURE LOCATION SELECTED FOR THE LOCKERS WILL BE FREE OF ANY POTENTIAL OBJECTS OF INTERFERENCE, INCLUDING, BUT NOT LIMITED TO, THERMOSTATS, SMOKE DETECTORS, SPRINKLER HEADS, FIRE EXTINGUISHERS, DOORS THAT MAY STRIKE THE LOCKER WHEN OPENED.
- LINE OF FULL HEIGHT TEMPORARY PARTITION AROUND AREA OF WORK, ZIP WALL PLASTIC SHEATHING SYSTEM OR EQUAL.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS DAILY. CONTROL DUST, AND LEAVE SITE BROOM SWEEP AT THE END OF EACH DAY. INSTALL STICKY MATS IN FRONT OF EACH CONSTRUCTION AREA ENTRANCE. INSTALL TEMPORARY PARTITIONS OR FIRE RETARDANT POLY SHEETING AROUND THE AREA OF WORK AS REQUIRED TO CONTROL DUST. DO NOT OBSTRUCT EGRESS POINTS FROM THE BUILDING. IF THE AREA AROUND EGRESS DOORS MUST BE TEMPORARILY WORKED ON DURING CONSTRUCTION WAY FINDING SIGNS MUST DIRECT OCCUPANTS AROUND TO THE NEAREST EXIT WITHIN CODE COMPLIANT TRAVEL DISTANCES.
- CONTAINER LOCATION FOR DISPOSAL SHALL BE COORDINATED WITH THE CLIENT REP. THE LOCATION AND THE LENGTH OF TIME THE CONTAINER CAN BE LEFT IN PLACE SHALL BE INCLUDED IN THE CONTRACTORS BID.
- ALL CONSTRUCTION OPERATIONS THAT CREATE NOISE SHALL BE MINIMIZED DURING OPERATIONAL HOURS. SCHEDULING OF NOISY WORK SHALL BE DONE DURING OFF HOURS UNLESS DIRECTED OTHERWISE. COORDINATE WITH UNIVERSITY.
- CONTRACTOR SHALL HAVE HEPA FILTER AIR SCRUBBERS INSTALLED IN CONSTRUCTION AREA UNTIL CONSTRUCTION IS COMPLETE. ALL EXISTING HVAC REGISTERS SHALL BE PROTECTED WITH DISPOSABLE FILTERS TO AVOID CONTAMINATING THE BUILDING.
- PREP EXTERIOR SHED STRUCTURE FOR NEW PAINT.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH ALL THE EXISTING CONDITIONS AND EQUIPMENT AND DEVICES THAT WILL NEED TO BE TEMPORARILY SUPPORTED, REMOVED OR RELOCATED. ALL MODIFICATIONS REQUIRED TO COMPLETE THE SCHEDULED WORK SHALL BE INCLUDE IN THE BASE BID, ILLUSTRATED ON THE PLANS OR NOT.

## CONSTRUCTION NOTES:

# REFERS TO KEYNOTE

- CONTRACTOR SHALL PATCH AND REPAIR ANY SURFACE DISTURBED FROM REMOVAL OF PREVIOUS CONSTRUCTION AND RETURN BACK TO ITS ORIGINAL CONDITION OR INFILL IF GAPS IN CONSTRUCTION ARE LEFT. ALL WALLS WHERE REMOVALS HAVE LEFT A NUMBER OF PATCHES SHALL BE FULLY SKIMMED COATED TO PROVIDE A CLEAN LEVEL FINISH SURFACE. TYP.
- WHERE EXISTING CONSTRUCTION IS BEING INFILLED MATCH EXISTING CONSTRUCTION TYPE. U.O.N.
- NEW PITNEY BOWES SMART LOCKERS - 8 COLUMNS ON LONG WALL AND 5 COLUMNS ON THE SHORT WALL. WALL WILL BE PURCHASED BY MSU AND INSTALLED BY THE MANUFACTURER. CONTRACTOR IS RESPONSIBLE TO GET THE SPACE LOCKER READY. CONTRACTOR SHALL REFER TO CLIENT READINESS REQUIREMENTS FOR THE PROPOSED AND ENSURE ALL REQUIREMENTS ARE MET BEFORE INSTALLATION OF LOCKERS. ALL FACILITIES RELATED PREPARATION, INCLUDING POWER, FLOOR SURFACE, WALLS, ETC. IN ACCORDANCE WITH PB REQUIREMENTS. FLOOR IS ADEQUATE FOR WEIGHT OF SYSTEM AND FOR SAFE, ACCESSIBLE USER ACCESS. INSTALLATION PLAN DOES NOT VIOLATE FIRE CODES, BUILDING REGULATION, ETC.
- CONTRACTOR SHALL ENSURE LOCATION SELECTED FOR THE LOCKER WILL BE FREE OF ANY POTENTIAL OBJECTS OF INTERFERENCE, INCLUDING, BUT NOT LIMITED TO, THERMOSTATS, SMOKE DETECTORS, SPRINKLER HEADS, FIRE EXTINGUISHERS, DOORS THAT MAY STRIKE THE LOCKER WHEN OPENED. CONSTRUCTION/BUILD OUT REQUIREMENTS ARE COMPLETE PRIOR TO THE DELIVERY DATE. KEY STAKEHOLDERS REMAIN BRIEFED ON PROJECT SCHEDULE AND REQUIREMENTS. COMPLIANCE WITH RELATED GOVERNMENT ORDINANCES, WHICH MAY INCLUDE BUT NOT BE LIMITED TO OBTAINING PERMITS.
- PROVIDE NEW FIRE EXTINGUISHER CABINET WITH WALL BRACKET. REFER TO A1.00 FOR FIRE EXTINGUISHER SCHEDULE.
- CONSTRUCTION SAFEGUARD PRECAUTIONS SHOULD BE IN ACCORDANCE WITH DATA SHEET 1-0, SAFEGUARDS DURING CONSTRUCTION, ALTERATION AND DEMOLITION.
- COLOR MATCHING SEALANT WHERE EXISTING STOREFRONT GLAZING COMES IN CONTACT WITH NEW WALL TYPE 182. TYP.
- OWNER TO PROVIDE NEW 36WX14DX74H CHROME FINISHED WIRE SHELVING UNITS WITH ALL REQUIRED ACCESSORIES AND HARDWARE PER THE LAYOUT.
- OWNER TO PROVIDE TABLE - 18"X36" 18-GAUGE 304 STAINLESS STEEL WITH GALVANIZED LEGS AND UNDERSHELF WITHOUT BACKSPLASH.
- VERIFY ALL DIMENSIONS, BOTH HORIZONTAL AND VERTICAL. PRIOR TO CONSTRUCTION IN ALL AREAS OF PROJECT. NOTIFY ARCHITECT IF ANY DISCREPANCIES SHOULD OCCUR.
- CONTRACTOR SHALL PATCH AND REPAIR ANY SURFACE DISTURBED FROM REMOVAL OF TEMPORARY PROTECTION.
- EXISTING DOOR TO REMAIN LOCKED AND SECURE. SEAL ALL GAPS AROUND DOOR WITH BACKER ROD AND SEALANT FROM THE INTERIOR BEFORE INSTALLING NEW PARTITION.
- OWNER TO PROVIDE NEW CHAIR WITH BACK MESH AND FABRIC SEAT.
- ALL SPECIFIED PRODUCTS USED ARE BASIS OF DESIGN, LISTED PRODUCTS OF EQUAL OR GREATER QUALITY MAY BE USED BUT MUST BE APPROVED.

KEY PLAN:



SECTION: SEC BLOCK: BLOCK LOT: LOT

CONSULTANTS:

COMMENTS:

DATE	DESCRIPTION
08/6/2025	ISSUED FOR REVIEW
08/22/25	ISSUED FOR BID

REVISIONS :

REV.	DATE	DESCRIPTION

CLIENT INFORMATION:

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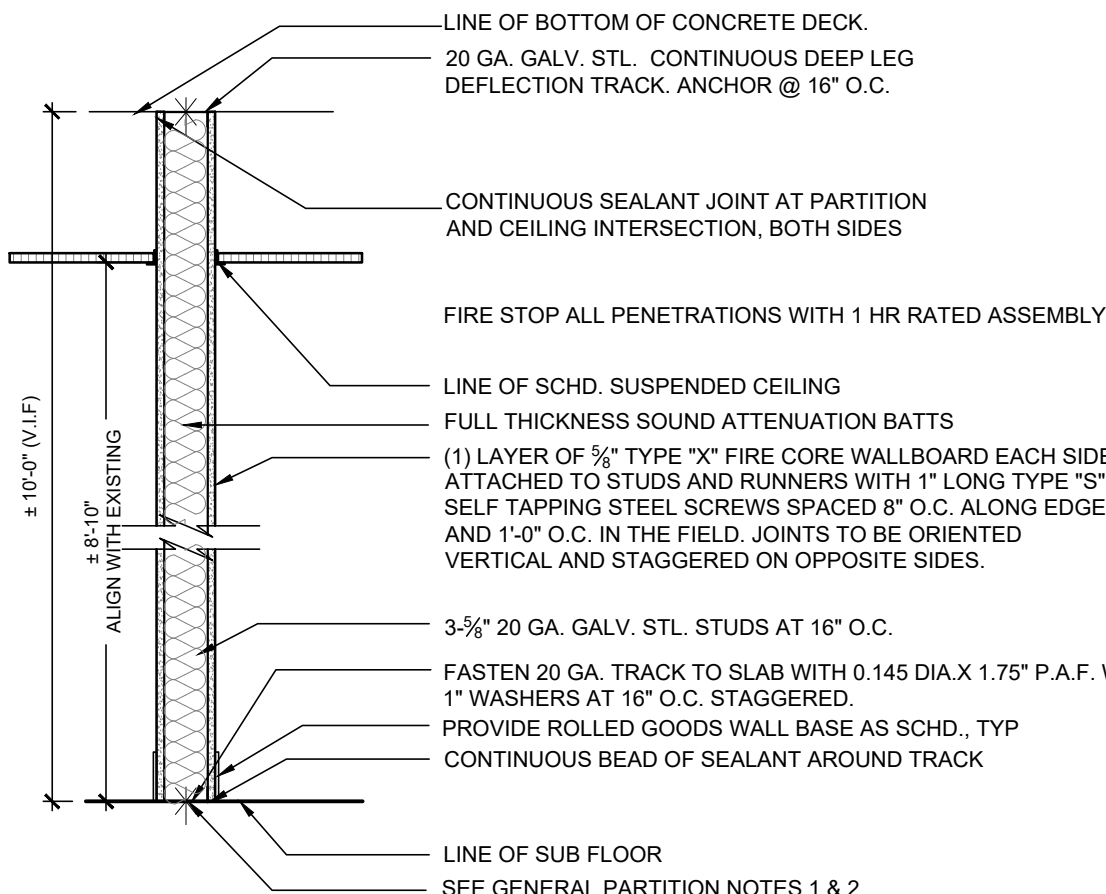
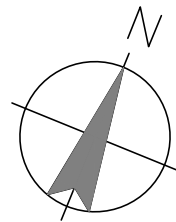
REMOVAL &  
CONSTRUCTION PLAN

DRAWN BY:	HM	DATE:	01/28/25
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FILE NAME:

BDG NUMBER:  
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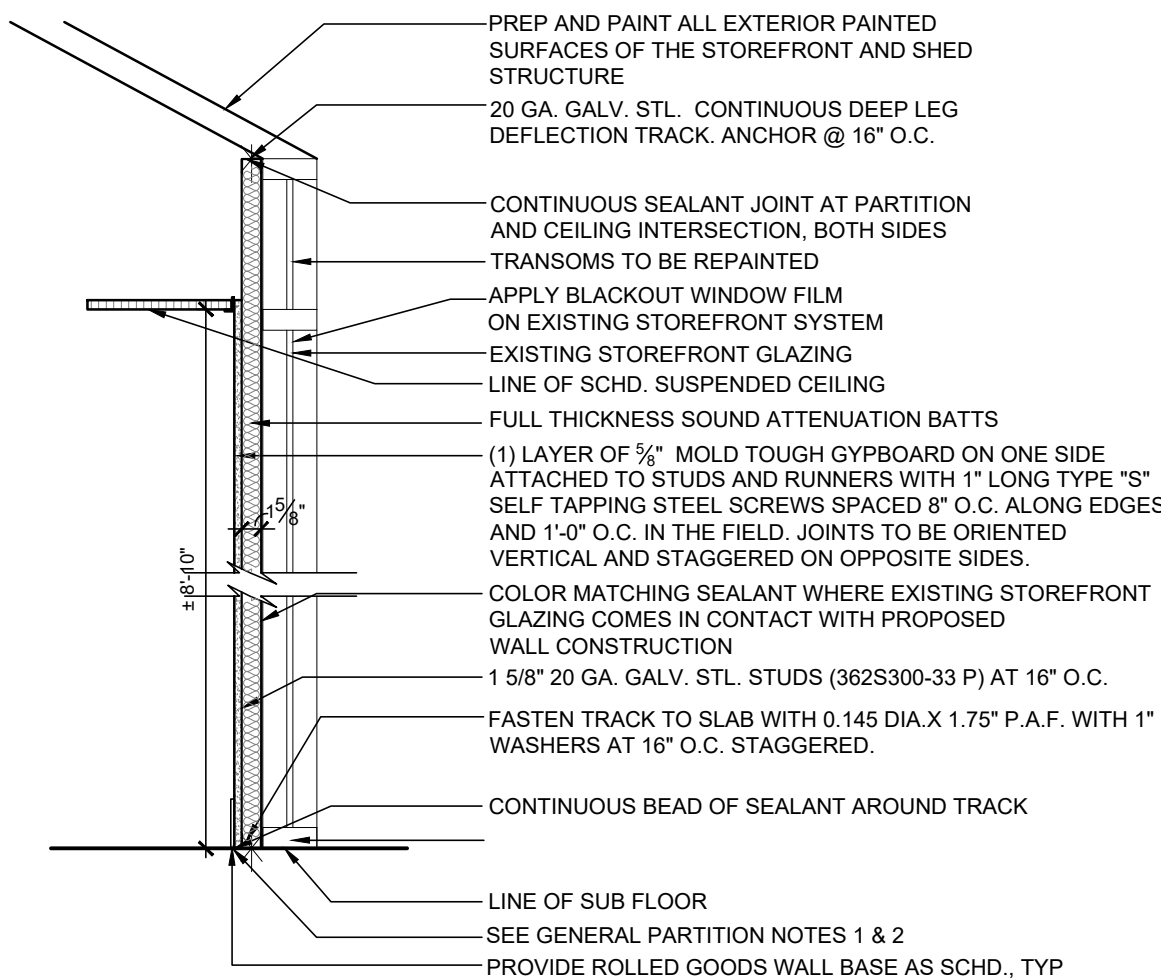


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## PARTITION TYPE - 1 HR RATED

SCALE: 3/4"=1'-0"

UL# U419



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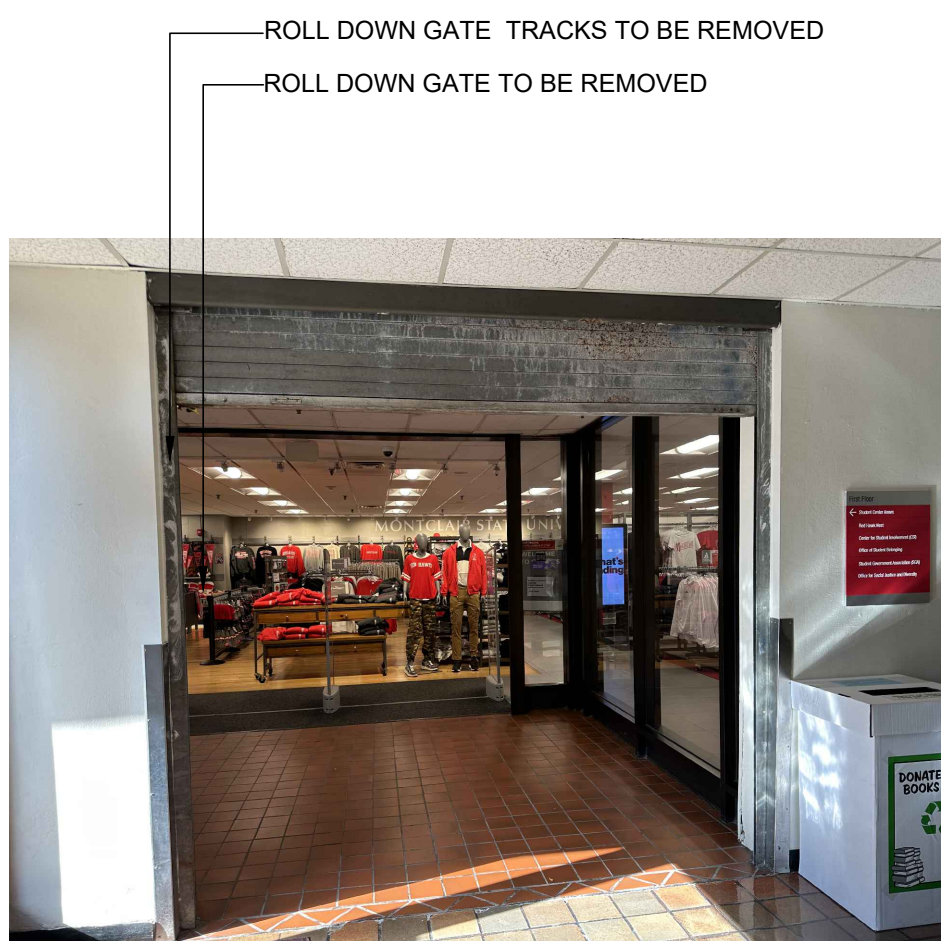
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SCALE: 3/4"=1'-0"



EXISTING CONDITIONS PHOTO  
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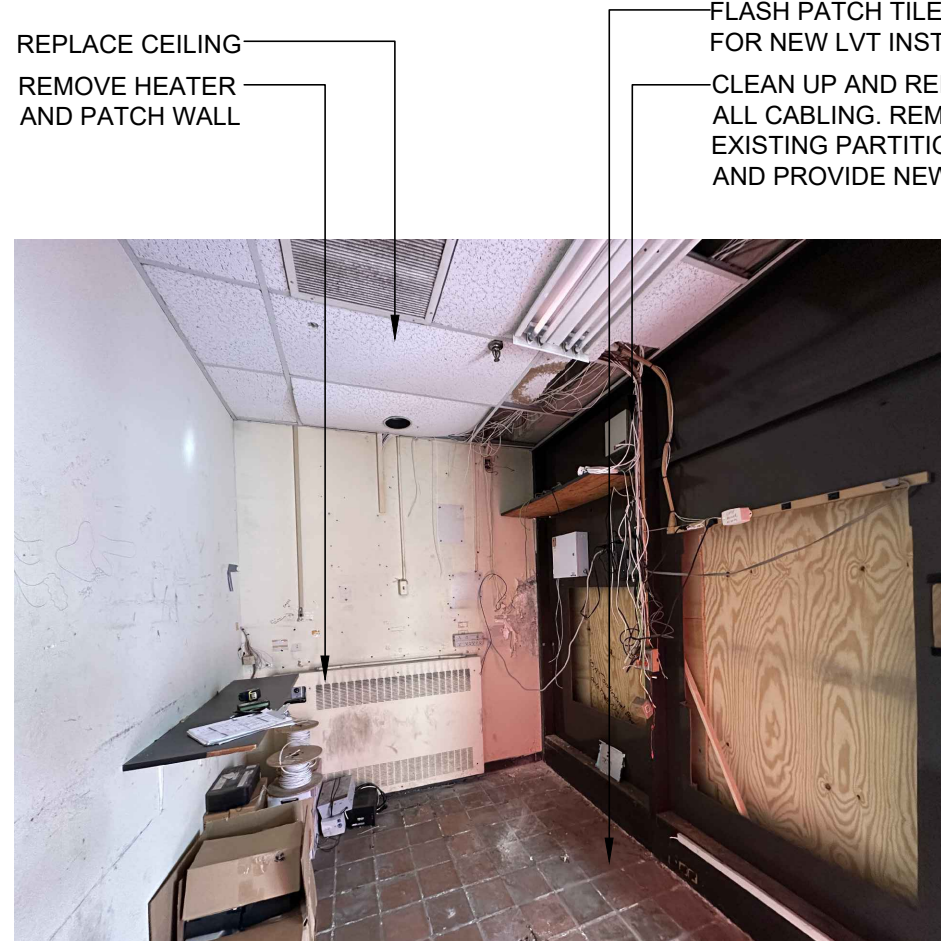
NTS



EXISTING CONDITIONS PHOTO  
AT ROLL DOWN GATE

4

NTS



EXISTING CONDITIONS PHOTO  
AT ATM ROOM

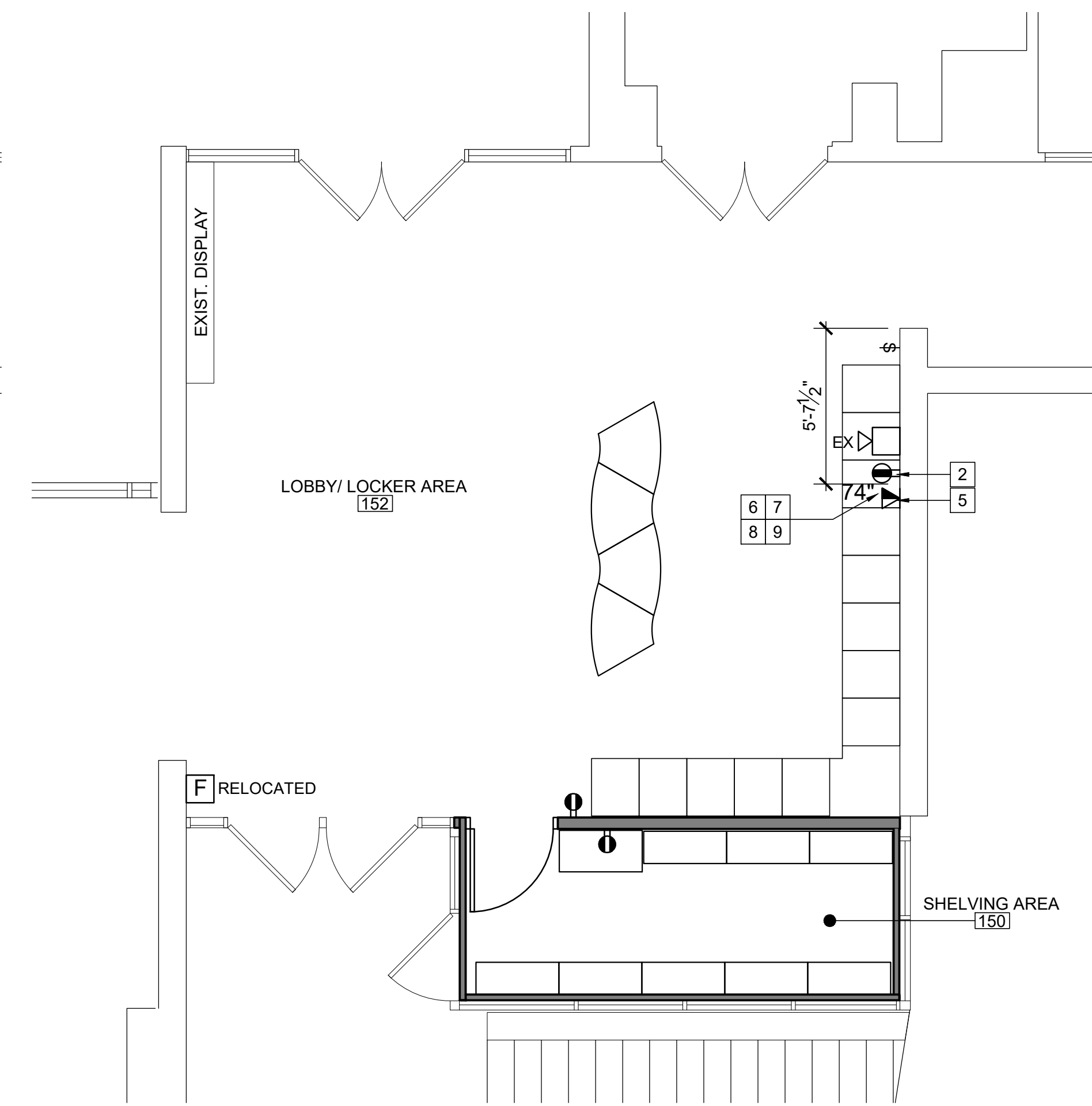
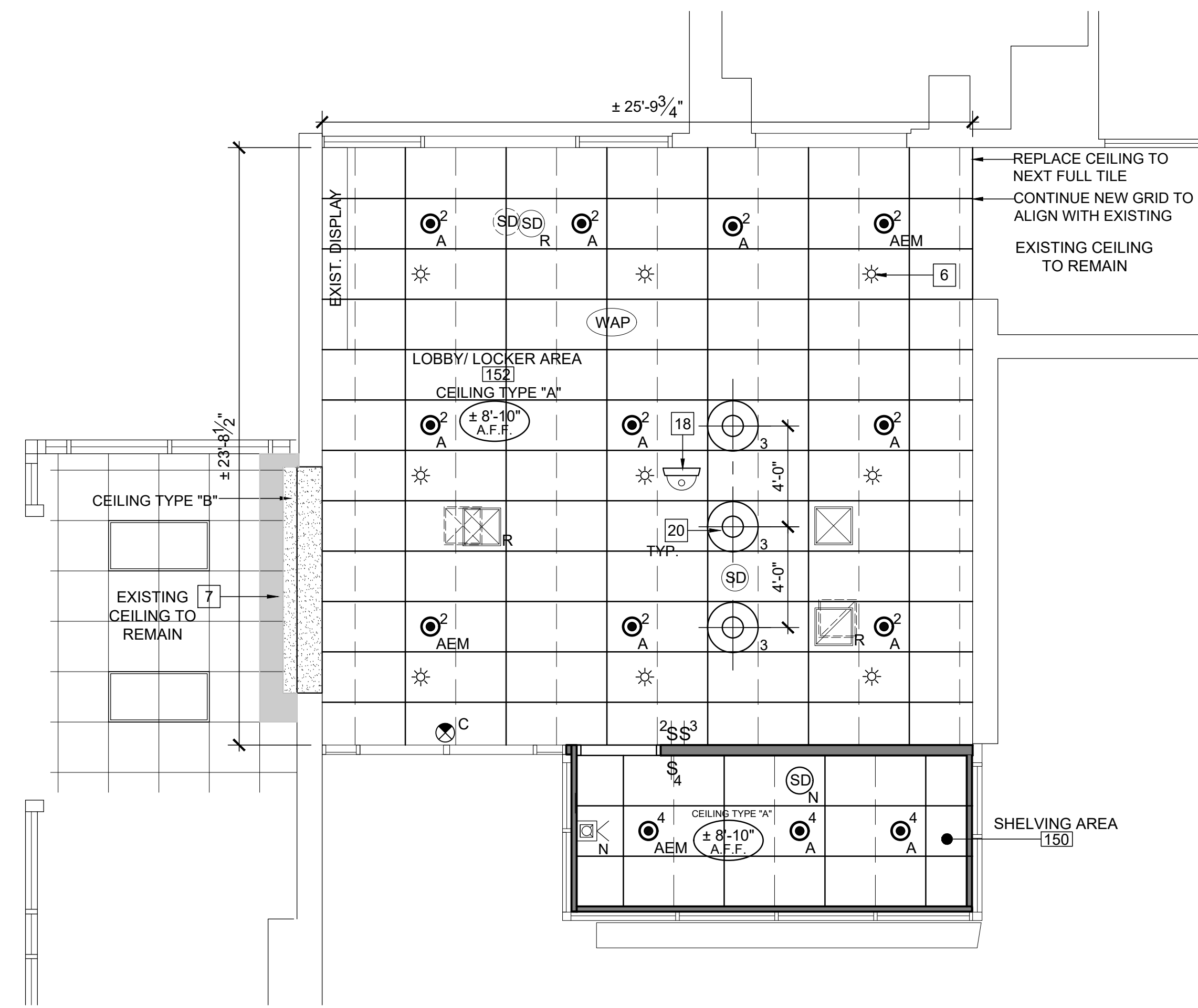
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NTS

GENERAL PARTITION NOTES:

- PROVIDE CONTINUOUS ACOUSTICAL (NON-HARDENING) CAULKING BEADS ON EACH SIDE OF THE BOTTOM STUD RUNNER AT THE THREE-WAY INTERSECTION BETWEEN THE RUNNER, FLOOR AND DRYWALL.
- ACOUSTICAL CAULKING TO CLOSE GAPS BETWEEN SERVICE OUTLETS (ELECTRICAL, TELEPHONE, DATA, ETC. ) AND DRYWALL. SERVICE OUTLETS TO BE A MINIMUM 24" APART.





## CEILING NOTES:

- # REFERS TO KEYNOTE
- REFER TO T1.01 FOR ADDITIONAL INFORMATION AND LEGENDS.
  - COORDINATE AND FIELD VERIFY ALL CEILING STARTING POINTS WITH ARCHITECT.
  - MULTIPLE ADJACENT SWITCHES SHALL BE MOUNTED IN A SINGLE MULTI-GANG BOX AND BE COVERED WITH A SINGLE CONTINUOUS FACEPLATE. WHERE AN ADDITIONAL SWITCH IS ADDED TO AN EXISTING SWITCH LOCATION, REMOVE EXISTING SWITCHES AND PROVIDE A NEW SINGLE FACEPLATE.
  - "AREA OF NEW CEILING" IS NOTED SCHEMATICALLY ONLY AND DOES NOT CONSTITUTE THE LIMITS FOR SCOPE OF WORK. CONTRACTOR TO VERIFY SCOPE OF REMOVALS AND NEW CONSTRUCTION TO DETERMINE LIMITS OF NEW CEILING CONSTRUCTION.
  - PROVIDE ALL NECESSARY HANGERS & CLIPS FOR PROPER LIGHT FIXTURE INSTALLATION.
  - FOR LIGHT SWITCHES AND CONTROLS SEE POWER DRAWINGS. COLOR AS SPECIFIED BY ARCHITECT.
  - PATCH EXISTING CEILINGS AT AREA OF NEW CONSTRUCTION AND ALONG ACCESSIBLE ROUTE FOR ALL TRADES, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, AND COMMUNICATION, TRADES.
  - ALL CEILING REGISTER LOCATIONS TO REMAIN AND TO BE CENTERED IN CEILING TILE U.O.N. UNLESS OTHERWISE NOTED. CEILING REGISTERS ARE BEING REUSED AND SHOULD BE CLEANED PRIOR TO REINSTALLING.
  - ALL EXISTING SMOKE DETECTORS TO REMAIN AND TO BE CENTERED IN CEILING TILE U.O.N.
  - AREAS INDICATED WITHOUT LAYOUT SHALL BE EXISTING TO REMAIN.
  - WHERE CEILING TRACK ABUTS WALL CONSTRUCTION, RUN CONTINUOUS BEAD OF SEALANT AROUND PERIMETER OF TRACK. COLOR TO MATCH GRID.
  - ALL CUT PANELS TO HAVE EDGES PAINTED.
  - PROVIDE MATCHING CEILING ANGLE FOR ALL TERMINATIONS.
  - ALL LIGHT FIXTURES TO BE REPLACED WITH NEW LIGHT FIXTURES AS INDICATED U.O.N.
  - EXISTING SPRINKLER HEADS TO REMAIN.
  - INSTALL SEISMIC BRACING PER MANUF. INSTRUCTIONS SEE A3.02 FOR MORE INFO.
  - NEW LIGHTING TO CONNECT TO EXISTING LIGHTING CIRCUIT AND SWITCHING THAT SERVED OLD FIXTURES.
  - NEW 360 DEG CAMERA TO BE INSTALLED BY MSU. EXACT LOCATION TO BE DECIDED SO NOT BLOCKED BY THE 3 HANGING LIGHT FIXTURES.
  - ALL SPECIFIED PRODUCTS USED AS BASIS OF DESIGN, LISTED PRODUCTS OF EQUAL OR GREATER QUALITY MAY BE USED BUT MUST BE APPROVED.
  - EXACT LOCATION OF SUSPENDED PENDANT LIGHT FIXTURE TO BE COORDINATED WITH THE FINAL FURNITURE LAYOUT. CONTRACTOR SHALL ALLOW SUFFICIENT ADJUSTMENT/TOLERANCE TO ACCOMMODATE FINAL POSITIONING.

## POWER NOTES:

- # REFERS TO KEYNOTE
- REFER TO T1.01 FOR ADDITIONAL INFORMATION AND LEGENDS.
  - ALL ELECTRIC TO BE CONCEALED WHERE FEASIBLE. IF ELECTRIC WIRING CAN NOT BE CONCEALED SUPPLY SURFACE MOUNTED RACEWAYS PAINT TO MATCH WALL FINISH IT IS INSTALLED OVER EXISTING CMU BLOCK SHALL BE SAW CUT TO RECESS DEVICES AND CORE DRILLED TO ACCESS HOLLOW CORES TO RUN WIRING THROUGH CELLS TO FEED DEVICES. CONTRACTOR TO DETERMINE WHICH BLOCK WALLS CONTAIN HOLLOW CELLS OR ARE BACKED WITH A CHASE SO WIRING CAN BE RUN CONCEALED.
  - ALL ELECTRICALLY POWERED EQUIPMENT SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.
  - THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE PANELS THAT ELECTRIC WILL BE PULLED FROM FOR ANY NEW CIRCUITS. THE RUN OF CABLEING TO THESE PANELS SHALL BE INCLUDED IN THE BID. EXISTING CIRCUITS MAY BE REUSED. LOCKER CONSOLE MUST BE DEDICATED.
  - INSTALL 1" CONDUIT FOR DATA OUTLETS FOR MULTIPLE PULLS IN SINGLE GANG BOX WITH DRAG LINE TO HUNG CEILING SPACE. TERMINATE ALL CONDUITS WITH BUSHING. COORDINATE ALL CABLE TYPES, CONDUIT SIZES, AND BOX SIZES WITH IT VENDOR PRIOR TO INSTALLATION.
  - EXISTING SPRINKLER HEAD TO REMAIN. TYP.
  - REPLACE TILES AND SUPPLY NEW GRID WHERE ROLL DOWN DOOR HAS BEEN REMOVED.

### CLIENT READINESS REQUIREMENTS - PROPOSED LOCKERS

- ELECTRICAL AND ETHERNET CONNECTION ARE INSTALLED AND ENABLED IN ADVANCE OF SYSTEM DELIVERY. THE LOCKER SYSTEM ELECTRICAL REQUIREMENT IS 120VAC, 60HZ, 15A AND A STANDARD US 3-PRONG OUTLET (NEMA 5-15). A DEDICATED CIRCUIT IS RECOMMENDED WHERE OTHER DEVICES MAY SHARE THE SAME CIRCUIT. TELECOM WIRING AND TERMINATIONS SHALL PROVIDED BY OWNER. THE OWNER WILL ENSURE AN ADEQUATE POWER SUPPLY IS AVAILABLE IN THE EXACT LOCATION THE EQUIPMENT IS TO BE INSTALLED. G.C. TO PROVIDE CONDUIT BOXES AND PULL STRING.
- THE ELECTRICAL OUTLET SHOULD BE READILY ACCESSIBLE WITHIN A REASONABLE PROXIMITY TO THE LOCKER BANK WITH IDEAL PLACEMENT HAVING AN ALIGNMENT CENTERED ABOVE THE LOCKER BANK'S USER INTERFACE CONSOLE. THE PREFERRED PLACEMENT FOR THE OUTLET IS AT A HEIGHT OF 74", MEASURED FROM THE BOTTOM OF A STANDARD-SIZED VERTICALLY-ORIENTED FLUSH-MOUNTED OUTLET TO THE FLOOR. THIS HEIGHT ENABLES THE OUTLET TO BE LARGELY CONCEALED BY THE LOCKER'S TOP WHILE PROVISIONING FOR ITS POTENTIAL ACCESS. FULL ACCESS TO THE OUTLET MAY REQUIRE TEMPORARY REMOVAL OF THE TOPPER.
- IF THE OUTLET BOX IS SURFACE-MOUNTED, THE DISTANCE FROM THE FLOOR TO THE BOTTOM OF THE PROTRUDING OUTLET MUST EXCEED THE MAXIMUM HEIGHT OF THE LOCKER (E.G. GREATER THAN 79.5" FOR A FLAT TOP AND GREATER THAN 83.2" FOR A SLOPED TOP) AND SHOULD BE ALIGNED TO THE CENTER OF THE KIOSK COLUMN.
- THE DATA PORT OUTLET SHOULD BE READILY ACCESSIBLE WITHIN A REASONABLE PROXIMITY TO THE LOCKER BANK WITH IDEAL PLACEMENT HAVING AN ALIGNMENT CENTERED ABOVE THE LOCKER BANK'S USER INTERFACE CONSOLE. THE PREFERRED PLACEMENT FOR THE OUTLET IS ADJACENT TO THE ELECTRICAL OUTLET AT A HEIGHT OF 74" MEASURED FROM THE BOTTOM OF A STANDARD-SIZED VERTICALLY ORIENTED FLUSH-MOUNTED OUTLET TO THE FLOOR. THIS HEIGHT ENABLES THE OUTLET TO BE LARGELY CONCEALED BY THE LOCKER'S TOP WHILE PROVISIONING FOR ITS' POTENTIAL ACCESS. FULL ACCESS TO THE OUTLET MAY REQUIRE TEMPORARY REMOVAL OF THE TOPPER.
- THE LOCKER SYSTEM WILL SHIP WITH A STANDARD 6' POWER CORD AND ASSUMES THE OUTLET WILL BE WITHIN SUCH DISTANCE FROM THE CONTROL UNIT. IF THE OUTLET LOCATION REQUIRES AN ALTERNATIVE POWER CORD LENGTH, THIS MUST BE IDENTIFIED IN ADVANCE AND COMMUNICATED TO THE PITNEY BOWES.

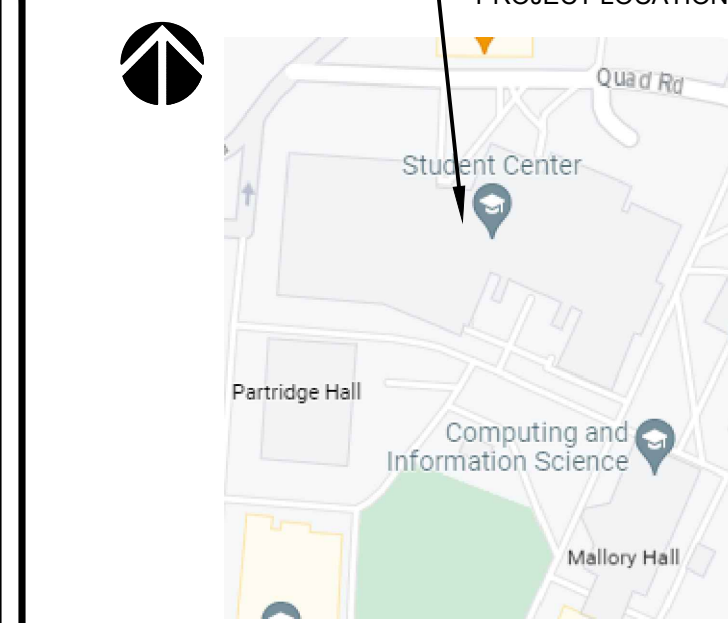
## POWER LEGEND:

- EXISTING DUPLEX RECEPTACLE TO REMAIN (COORDINATE W/ NEW LAYOUT)
- EXISTING QUAD RECEPTACLE OUTLET TO REMAIN
- EXISTING TELE/ DATA OUTLET TO REMAIN
- PROPOSED QUAD RECEPTACLE OUTLET
- PROPOSED DUPLEX RECEPTACLE OUTLET
- PROPOSED DEDICATED DUPLEX RECEPTACLE OUTLET
- PROPOSED TELE/ DATA OUTLET . PROVIDE (2)CAT 6 - CABLES

## FIRE ALARM NOTES:

- WHERE MODIFICATIONS TO WIRING IS REQUIRED IT SHALL BE SUPERVISED SO THAT THE FIRE COMMAND STATION WILL BE NOTIFIED IN THE EVENT OF ANY RUPTURE/BREAK IN THE WIRE. MSU FIRE ALARM VENDOR AUTOMATIC SUPPRESSION - BRIAN ZIEMBA 201-825-8855.
- LOCATION OF ALL FIRE ALARM EQUIPMENT SHALL BE SUBJECT TO APPROVAL OF AUTHORITIES HAVING JURISDICTION.
- THE ADDITION OF NEW EQUIPMENT SHALL BE COMPATIBLE WITH THE EXISTING SYSTEM AND SHALL MEET CODE.
- THE DESIGN AND INSTALLATION OF THE FIRE ALARM SYSTEM SHOULD BE IN ACCORDANCE WITH DATA SHEET 5-40, FIRE ALARM SYSTEMS, AND LOSS PREVENTION DATA SHEET 5-48, AUTOMATIC FIRE DETECTION. ALL MATERIALS SHOULD BE FM APPROVED AND COMPATIBLE WITH ONE ANOTHER.
- ALL SPECIFIED PRODUCTS USED AS BASIS OF DESIGN, LISTED PRODUCTS OF EQUAL OR GREATER QUALITY MAY BE USED BUT MUST BE APPROVED.

KEY PLAN:



SECTION: SEC BLOCK: BLOCK LOT: LOT

CONSULTANTS:

DATE	DESCRIPTION
08/6/2025	ISSUED FOR REVIEW
08/22/25	ISSUED FOR BID

DATE	DESCRIPTION
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REV.	DATE	DESCRIPTION

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DRAWING TITLE:
REFLECTED CEILING & POWER PLAN

DRAWN BY: HM	DATE: 01/28/25
CHECKED BY: CR	SCALE: AS NOTED

FILE NAME:
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BDG NUMBER:
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A1.02

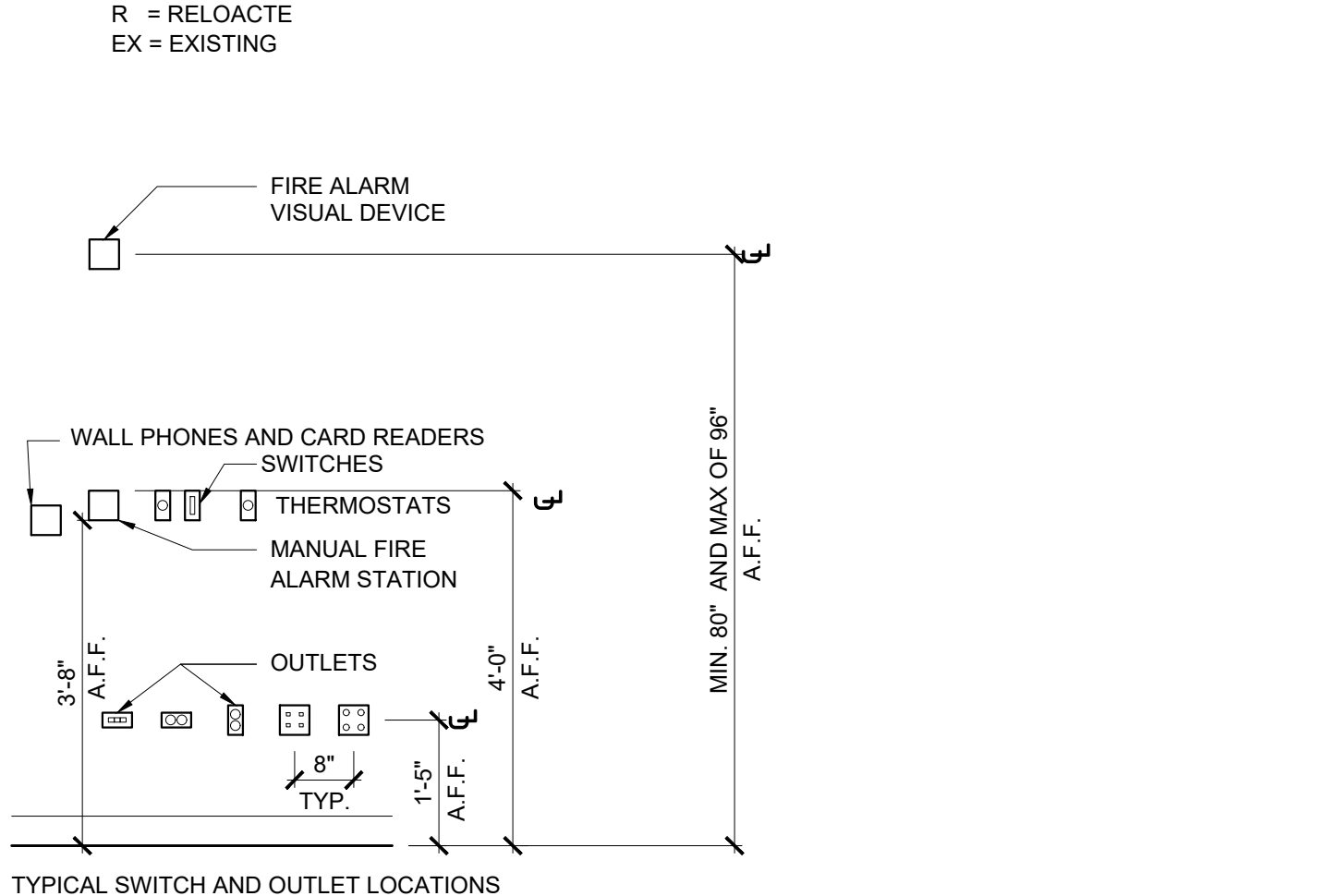
1 REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

SYMBOL/DIM. ZONE	SIZE	MANUFACTURER	MODEL	LAMP	REMARKS
	6" $\phi$	LITHONIA LIGHTING	LDN6-35K-15-L06-AR-LSS-TRW-MVOLT-GZ10	PROVIDED WITH FIXTURE	RECESSED LED DOWNLIGHT
	6" $\phi$	LITHONIA LIGHTING	LDN6-35K-15-L06-AR-LSS-TRW-MVOLT-GZ10-E10WCP	PROVIDED WITH FIXTURE	RECESSED LED DOWNLIGHT W/ EM BATTERY PACK, 90 MINUTE BATTERY BACKUP
	24" $\phi$	MERCURY ARCHITECTURAL LIGHTING - ORION	GO-S-2520/24-935K-B-5%-U	PROVIDED WITH FIXTURE	DIRECT RING SUSPENDED MOUNT
	EXIT SIGN	LITHONIA LIGHTING	BE-W-R-UM-M2	-	UNIVERSAL MOUNT - RED LETTERS 90 MINUTE BATTERY BACKUP

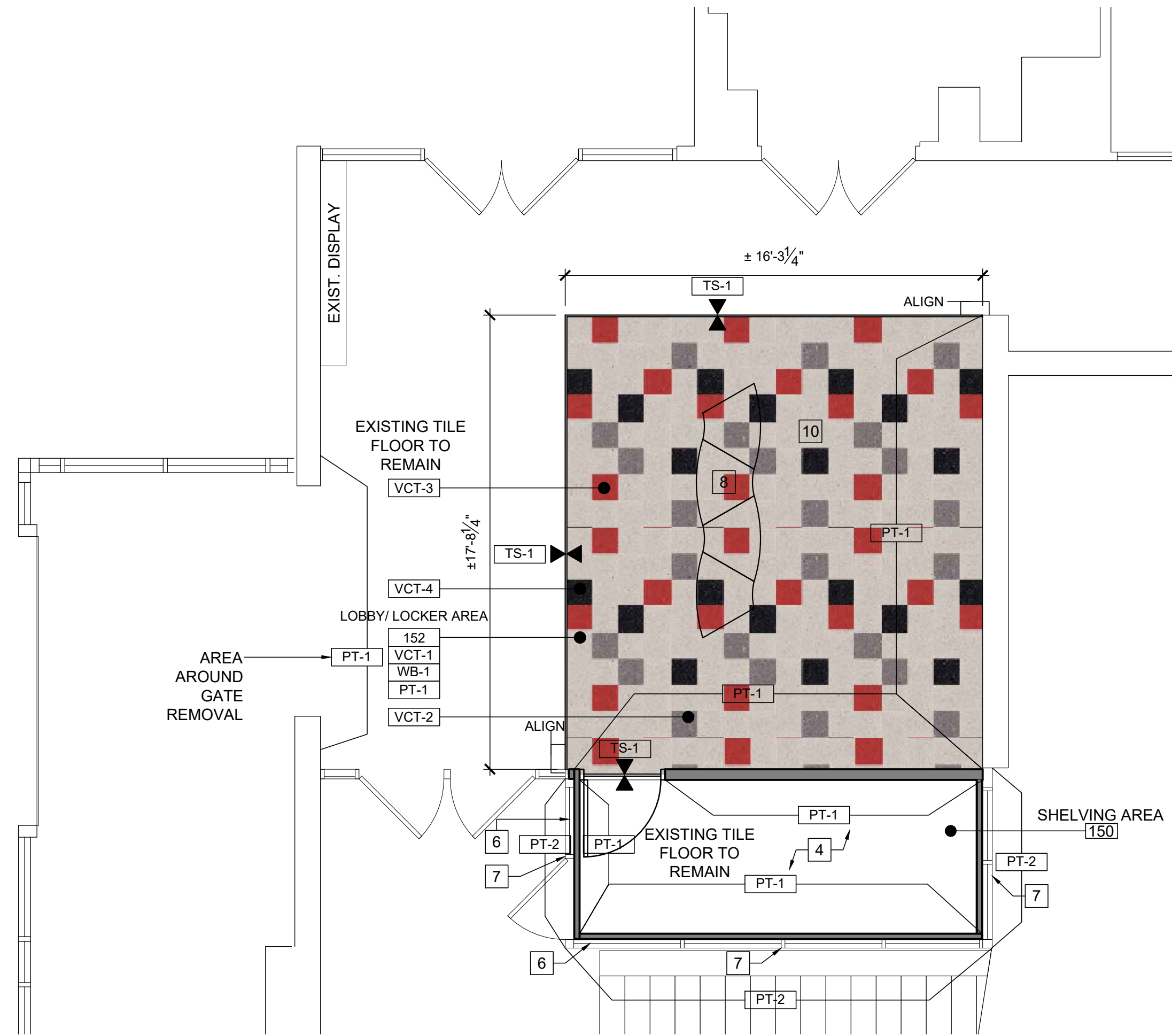
SYMBOL	DESCRIPTION
	EXISTING WALL MOUNTED COMBINATION HORN/ STROBE DEVICE
	RELOCATED WALL MOUNTED COMBINATION HORN/ STROBE DEVICE
	NEW WALL MOUNTED COMBINATION HORN/ STROBE DEVICE
	MANUAL PULL STATION
	EXISTING CEILING MOUNTED SMOKE DETECTOR
	RELOCATED CEILING MOUNTED SMOKE DETECTOR
	NEW CEILING MOUNTED SMOKE DETECTOR. INTEGRATE AND INTERCONNECT TO EXISTING FIRE ALARM
	NEW CEILING MOUNTED 360 DEG. SECURITY CAMERA

2 POWER PLAN  
SCALE: 1/4" = 1'-0"

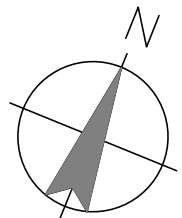
SYMBOL / DIM. ZONE	DESCRIPTION
	ARMSTRONG SECOND LOOK ACOUSTICAL TILE - CORTEGA - 24" X 48" X 15/16" ANGLED TEGULAR #1833 LAY-IN WITH PRELUDE XL 1/8" EXPOSED TEE GRID, INTERMEDIATE DUTY. COLOR OF GRID TO BE WHITE. PROVIDE WITH NEW WALL ANGLE
	5/8" TYPE "X" GYPSUM BOARD CEILING WITH LEVEL 4 FINISH.
	RETURN DIFFUSER
	SUPPLY DIFFUSER
	EXISTING FIRE SPRINKLER HEAD
	RELOCATED FIRE SPRINKLER HEAD







1 FINISH PLAN  
SCALE: 1/4" = 1'-0"

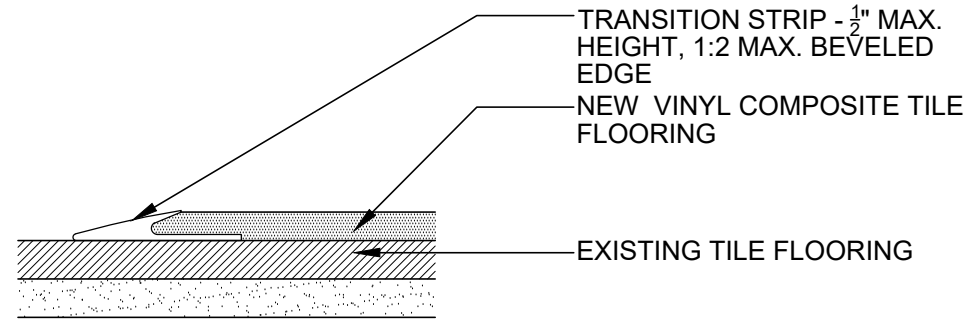


FINISH NOTES: # REFERS TO KEYNOTE

- PATCH AND PREPARE WALLS TO RECEIVE NEW FINISHES.
- FLASH PATCH AND THOROUGHLY CLEAN EXISTING FLOOR SLAB AS REQUIRED TO PREPARE FLOOR TO A SMOOTH AND LEVEL SURFACE TO RECEIVE NEW FLOORING.
- ALL WALLS AND SOFFITS WITHIN THE AREA OF WORK TO RECEIVE NEW PAINTED FINISH AS SCHEDULED.
- CLEAN UP EXISTING TILE FLOORING AND WAX LIKE EXISTING TILE.
- PROVIDE 1 GAL. ATTIC STOCK FOR PT-1 AND PT-2.
- APPLY BLACKOUT WINDOW FILM ON EXISTING STOREFRONT GLAZING ON THE INTERIOR SIDE OF GLAZING. SUBMIT SAMPLES OF WINDOW FILM FOR APPROVAL. FILM SHALL PROVIDE COMPLETE INTERIOR PRIVACY SIMILAR TO SOLYX ULTRA COOL OR APPROVED EQUAL.
- EXISTING METAL ROOF AND ALUMINUM FRAMED GLAZING TO BE PAINTED - CLEAN AND PREPARE SURFACE AS REQUIRED. COLOR TO MATCH EXISTING BUILDING EXTERIOR.
- NEW LOUNGE SEATING TO BE PROVIDED BY OWNER.
- ALL SPECIFIED PRODUCTS USED AS BASIS OF DESIGN, LISTED PRODUCTS OF EQUAL OR GREATER QUALITY MAY BE USED BUT MUST BE APPROVED.
- VCT FLOORING PATTERN TO BE LAID OUT EXACTLY AS SHOWN ON THE FINISH PLAN A1.03-1.

FINISH PLAN LEGEND

- PROPOSED GYPSUM BOARD PARTITION
- EXISTING PARTITION TO REMAIN
- XX-X DENOTES FINISH ACCENT
- XX-X DENOTES TRANSITION STRIP
- XX-X DENOTES FINISH SYMBOL



2 TRANSITION DETAIL  
SCALE: 6" = 1'-0"

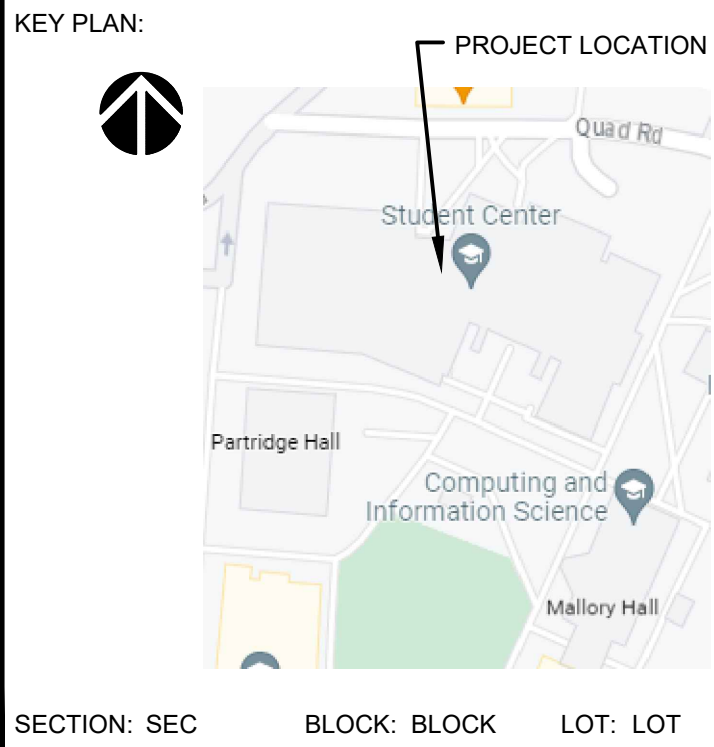
INTERIOR FINISH SHCHEDULE

FLOORING					
FIN. NO.	ITEM	MANUF. / DISTRIBUTOR	MODEL / COLOR	FLAME SPREAD RATING	REMARKS
VCT-1	VINYL COMPOSITE TILE	TARKETT	TARKETT VCT II - PEWTER 12" X 12"	CLASS 1	INSTALLATION: MONOLITHIC, RANDOM
VCT-2	VINYL COMPOSITE TILE	TARKETT	TARKETT VCT II - STEELWORK 12" X 12"	CLASS 1	INSTALLATION: MONOLITHIC, RANDOM
VCT-3	VINYL COMPOSITE TILE	TARKETT	TARKETT VCT II - MATADOR 12" X 12"	CLASS 1	INSTALLATION: MONOLITHIC, RANDOM
VCT-4	VINYL COMPOSITE TILE	TARKETT	TARKETT VCT II - EBONY 12" X 12"	CLASS 1	INSTALLATION: MONOLITHIC, RANDOM
TS-1	TRANSITION STRIP	ROPPE - REDUCER	160 GLUE-DOWN REDUCER 3/16" COLOR: BLACK	CLASS A	UNDERCUT 3/16"; FLANGE AND TRANSITION COMBINED
WALL BASE					
WB-1	VINYL BASE	ROPPE	100 BLACK 4" NO TOE BASE		

PAINTING SCHEDULE

TAG	COLOR
PT-1	TO MATCH EXISTING
PT-2	TO MATCH EXISTING
PT-3	BENJAMIN MOORE 967 CLOUD WHITE

INTERIORS	
<b>PAINTED CMU:</b> PRIMER : IF NEEDED FOR SPOT PRIMING -LOXON ACRYLIC BLOCK SURFACER FINISH: PROMAR 200 HP ZERO VOC INTERIOR LATEX EGGSHELL	
<b>GYPSUM BOARD:</b> PRIMER : IF NEEDED FOR SPOT PRIMING -PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER FINISH: PROMAR 200 HP ZERO VOC INTERIOR LATEX EGGSHELL	
<b>HARD CEILINGS:</b> TOPCOAT: 1 COAT SHERWIN WILLIAMS LATEX DRY FALL FLAT, SW-7006 EXTRA WHITE	
<b>METAL DOOR AND FRAME</b> TOPCOAT: SHERWIN WILLIAMS PRO INDUSTRIAL DTM ACRYLIC , GLOSS ENAMEL; COLOR: TO MATCH EXISTING	
EXTERIORS	
<b>METAL ROOF:</b> PRIMER: IF NEEDED FOR SPOT PRIMING- PRO INDUSTRIAL PROCRYL UNIVERSAL PRIMER FINISH: 2 COATS SHERCRYL HPA SEMI-GLOSS	
<b>ALUMINUM STOREFRONT AND PAINTED GLASS AT THE TRANSOMS:</b> PRIMER: IF NEEDED FOR SPOT PRIMING- PRO INDUSTRIAL PROCRYL UNIVERSAL PRIMER FINISH: 2 COATS DTM ACRYLIC COATING	



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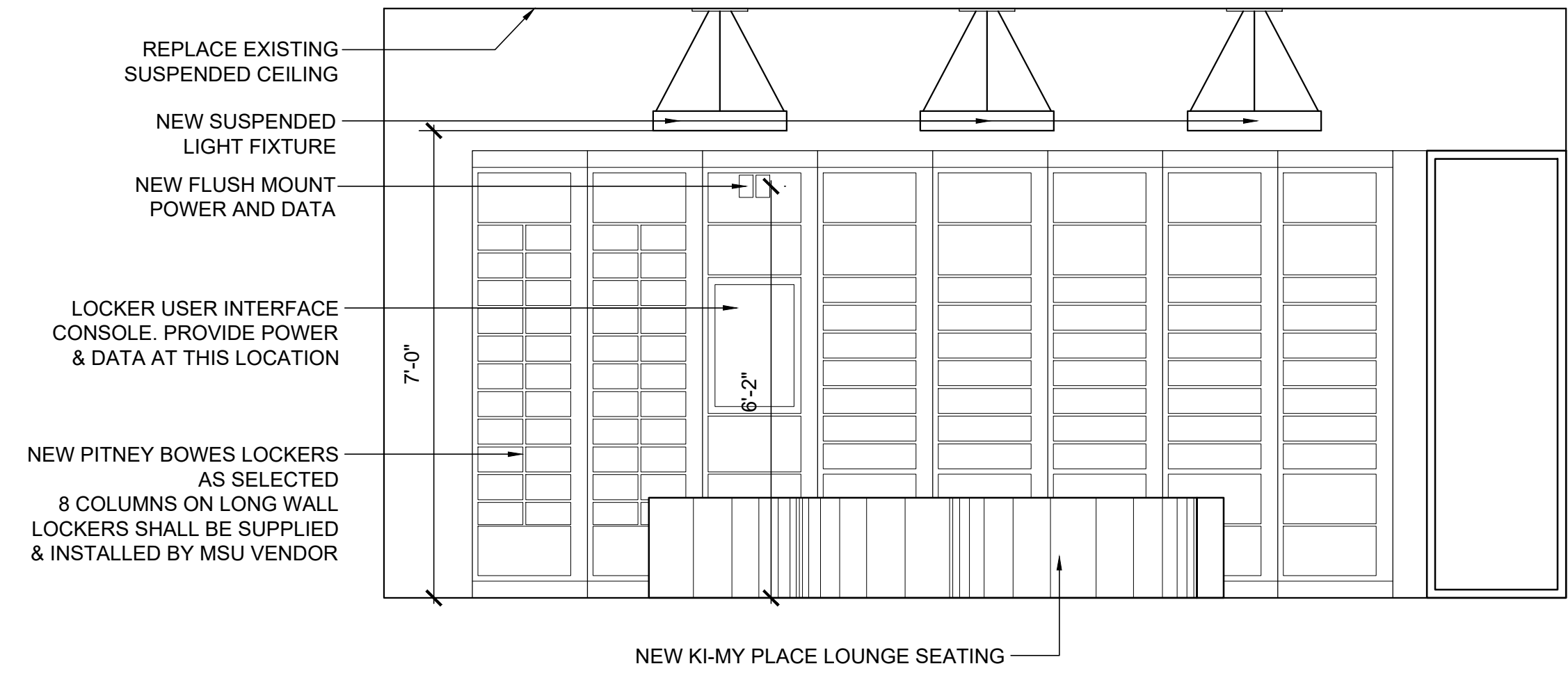
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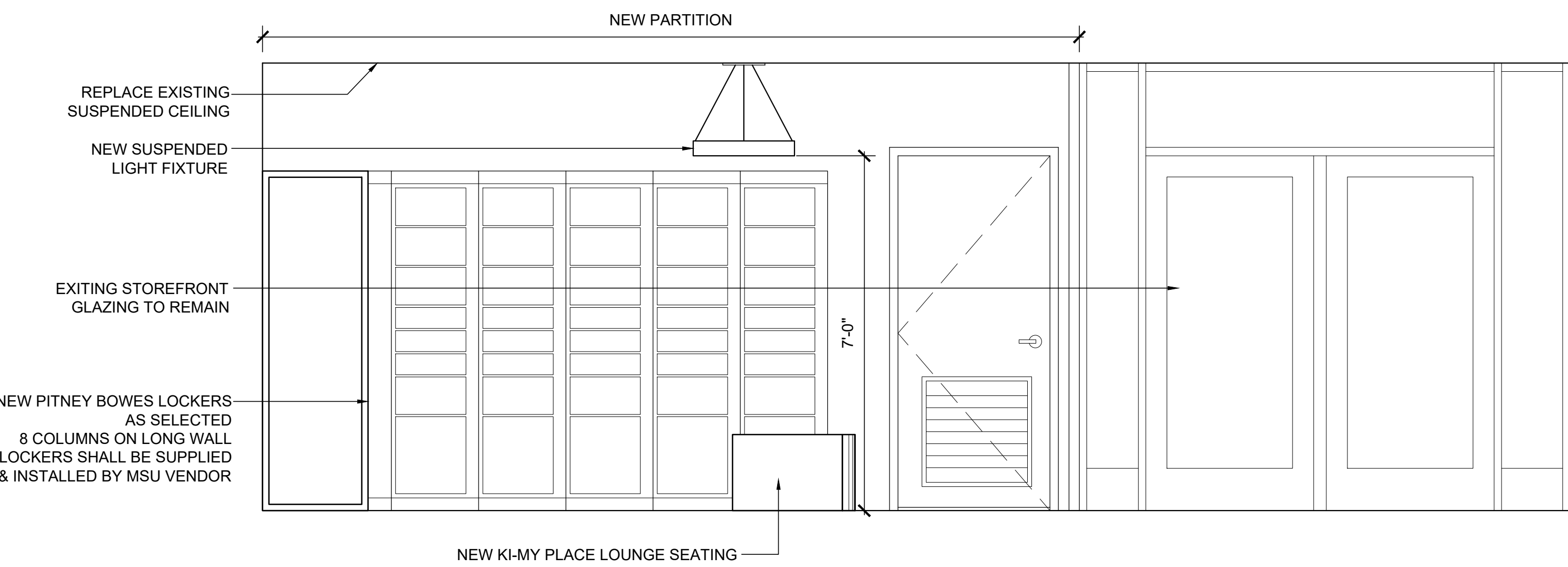
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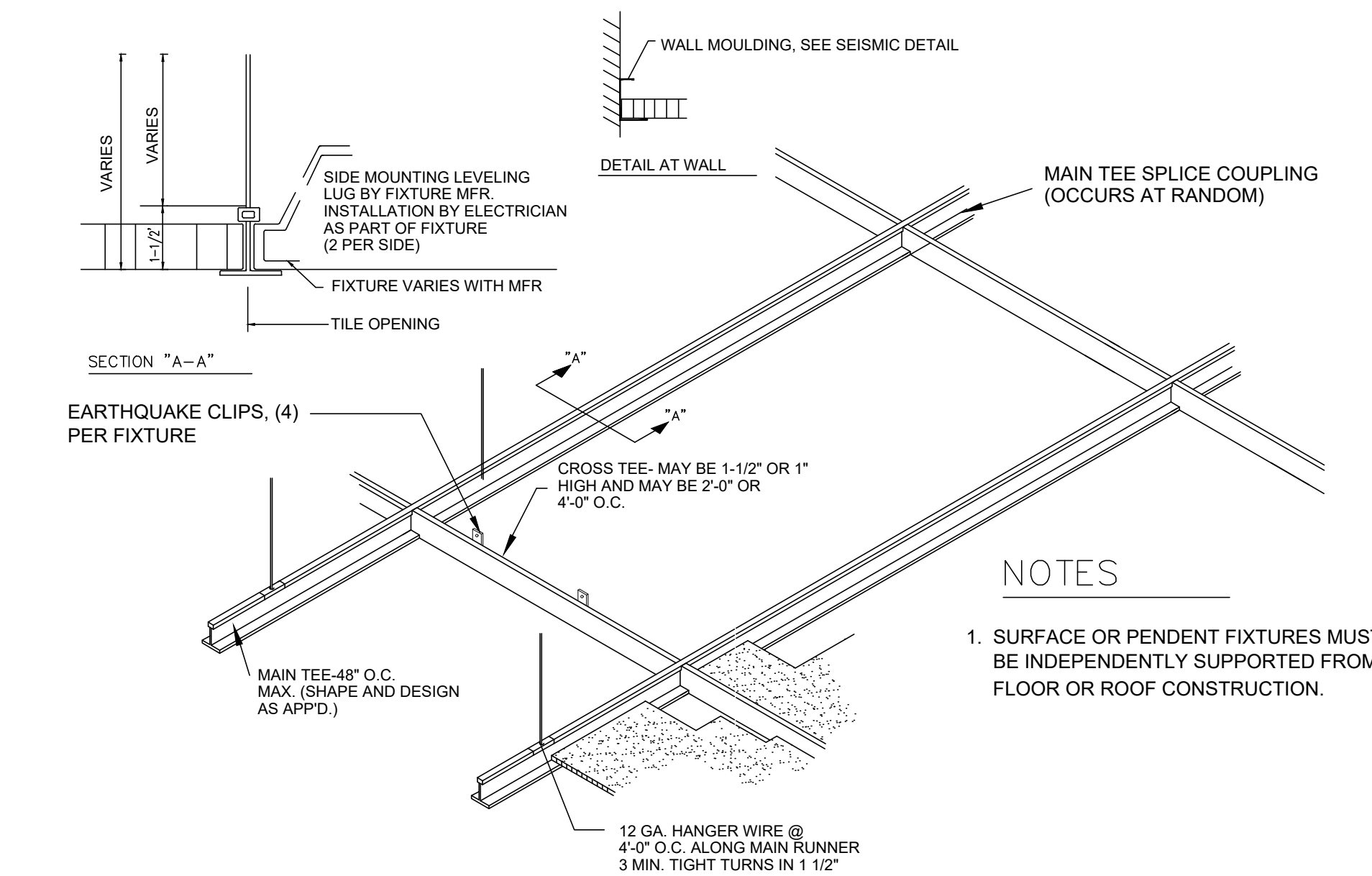




1 ELEVATION  
SCALE: 1/2" = 1'-0"



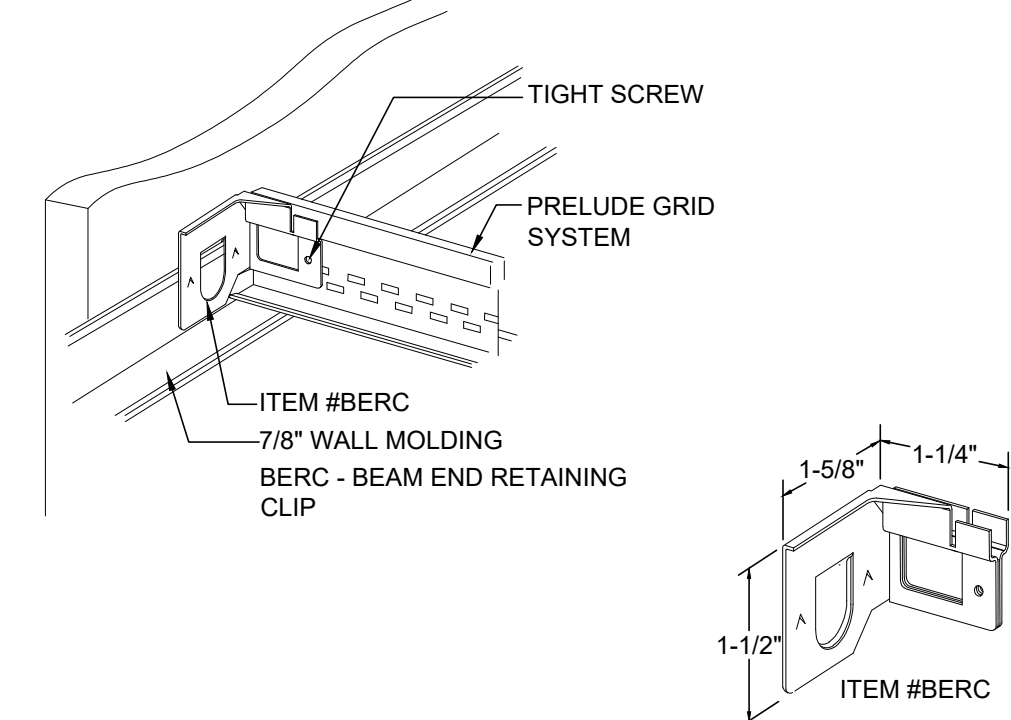
2 ELEVATION  
SCALE: 1/2" = 1'-0"



6 CEILING GRID DETAIL  
SCALE: NTS

CEILING NOTES:

- SUSPENDED CEILING TO BE SEISMIC BRACED PER ASTM E580 SEISMIC DESIGN CATEGORY "C". THE FOLLOWING REQUIREMENTS SHALL BE MET:
  - MIN. 3/4" WALL MOLDING
  - SUSPENSION SYSTEM CAN BE TIGHT ON TWO ADJOINING WALLS WITH USE OF ARMSTRONG BERC CLIP AND 3/8" CLEARANCE ON TWO OPPOSITE ADJOINING WALLS.
  - SAFETY WIRES REQUIRED ON LIGHT FIXTURES.
  - ENDS OF MAIN BEAMS AND CROSS TEES MUST BE TIED TOGETHER TO PREVENT SPREADING.
  - SUSPENSION SYSTEM MUST NOT BE ATTACHED TO THE WALL MOLDING.
- USE ARMSTRONG SEISMIC RX FOR CEILING GRID BRACING. USE WITH INTERMEDIATE-DUTY SUSPENSION SYSTEM. FOLLOW MANUFACTURES INSTALLATION INSTRUCTIONS.



7 SEISMIC RX DETAILS  
SCALE: 6" = 1'-0"

DOOR AND FRAME SCHEDULE

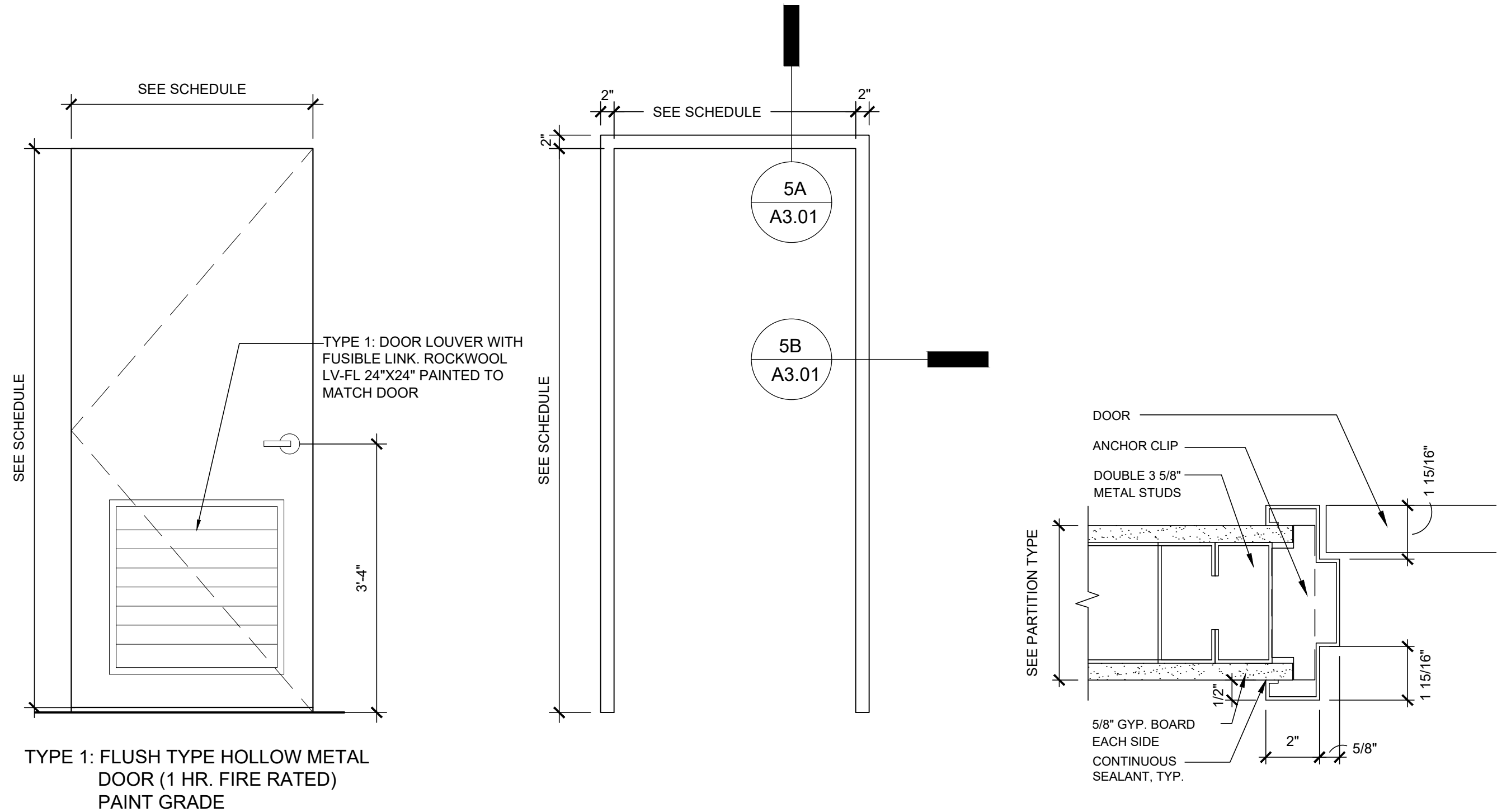
NO	DOORS				FRAME						HDWR	REMARKS
	WTH	HGT	THK	TYPE	HAND	MAT	FIN	TYPE	MAT	FIN		
101	3' - 0"	7' - 0"	0' - 1 3/4"	1	RH	HM	PAINT	1	HM	PAINT	01	1 HR. FIRE RATED FRAME AND DOOR. PROVIDE INSULATED METAL DOOR.

HARDWARE NOTES:

- ALL HARDWARE SHALL BE U.L. APPROVED.
- QUALITY AND FINISH OF HARDWARE TO MATCH BUILDING STANDARD.
- PROVIDE ALL ACCESSORIES AS REQ'D FOR COMPLETE INSTALLATION.
- G.C. SHALL PROVIDE HARDWARE SUBMITTALS AND VENDORS HARDWARE SCHEDULE FOR APPROVAL PRIOR TO PURCHASING AND INSTALLATION OF HARDWARE.
- VERIFY EXISTING DOOR HEIGHTS TO MATCH HEIGHT FOR NEW DOOR.
- UNDERCUT DOOR 3/4" FOR FLOOR FINISH CLEARANCE AS REQUIRED.
- DOOR FRAME TO BE PRE-DRILLED.
- EACH DOOR LEAF TO HAVE 1 1/2" PAIR HINGES PER DOOR U.O.N.
- ALL CLOSERS TO MEET ADA REQUIREMENTS OF 5 LBS. OF PRESSURE.
- DOOR HARDWARE SHALL BE MOUNTED @ 34" MIN. & 48" MAX. ABOVE FINISHED FLOOR.

HARDWARE SCHEDULE

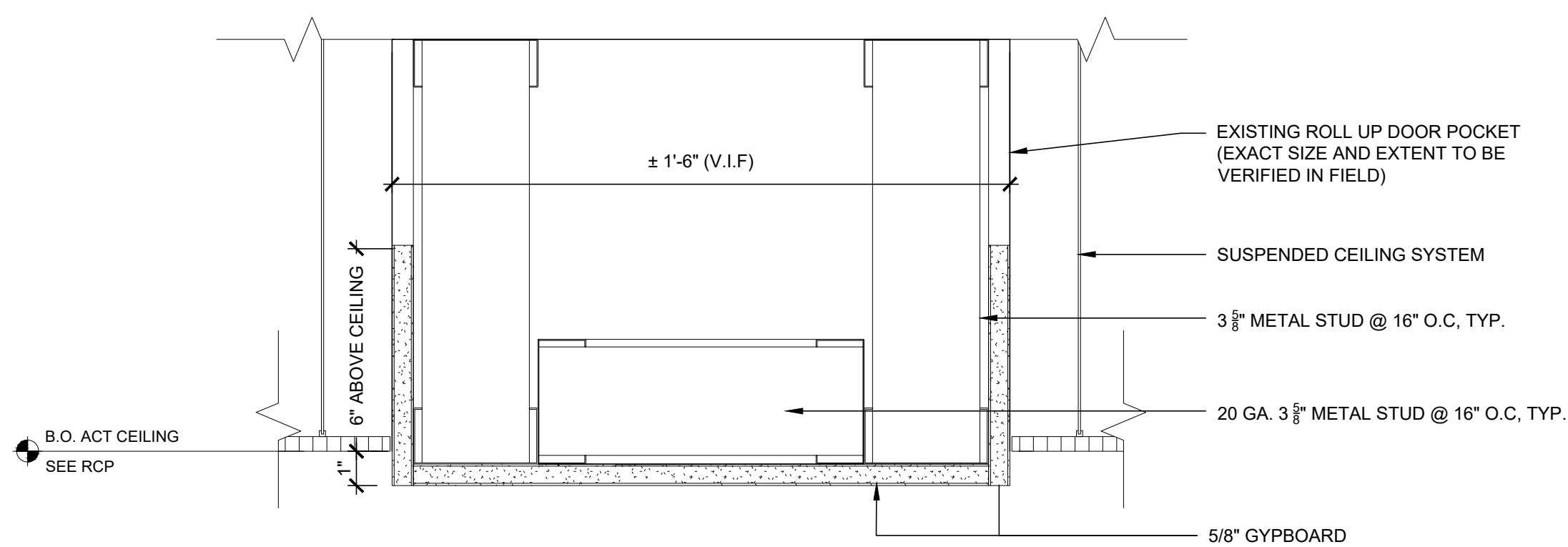
NO.	HARDWARE	MANUFACTURER	MODEL NO.	REMARKS
A	BUTT HINGE	STANLEY	FBB SERIES 99 US32D	
B	SURFACE CLOSER	LCN	4040 SERIES 99 US32D	PUSH SIDE MOUNTING
C	SILENCERS	IVES	GJ-64	3 PER DOOR
D	WALL STOP	IVES	WS406/407CCV	
E	STOREROOM LOCKSET	YALE	890FL LEVER PACIFIC BEACH FINISH 619 SATIN NICKEL	STORAGE ROOM LOCK



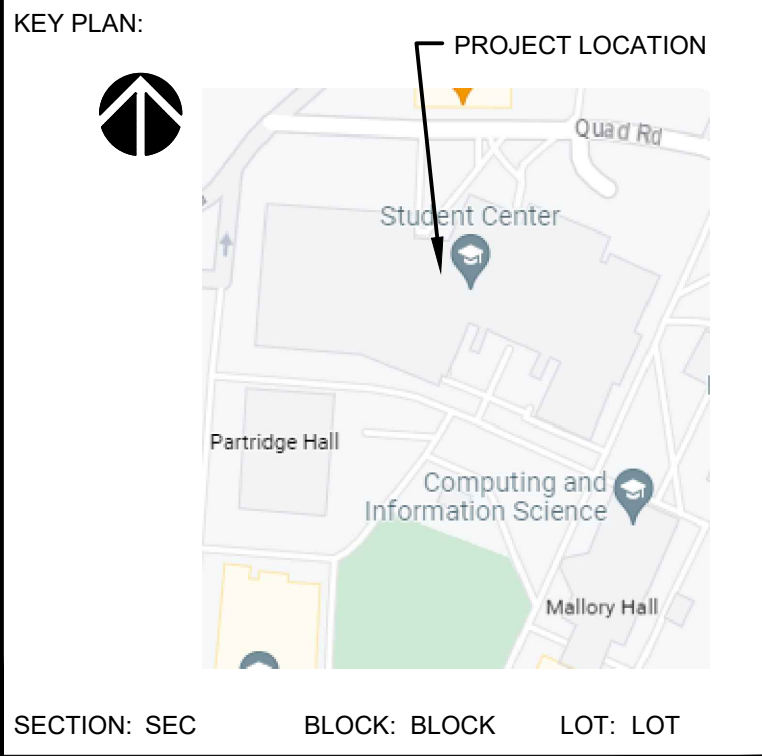
3 DOOR TYPE  
SCALE: 3/4" = 1'-0"

4 FRAME TYPE  
SCALE: 3/4" = 1'-0"

5 TYPICAL DOOR JAMB/ HEAD DETAIL  
SCALE: 3" = 1'-0"



8 GYPBOARD SOFFIT DETAIL AT ROLLUP DOOR POCKET REMOVAL  
SCALE: 3" = 1'-0"



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DRAWING TITLE:  
ELEVATIONS, DOOR SCHEDULE AND DETAILS

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