



## GENERAL REMOVAL NOTES:

- REFER TO T1.01 FOR ADDITIONAL INFORMATION AND LEGENDS.
- ABIDE BY THE STANDARD RULES AND REGULATIONS SET FORTH BY THE BUILDING MANAGEMENT. G.C. SHALL NOTIFY TENANT/OWNER OF NEED FOR ANY INTERRUPTIONS IN UTILITY SERVICE. NOTIFY TENANT/OWNER AT LEAST 72 HOURS IN ADVANCE.
- ALL BUILDING SERVICES, LIGHT, POWER, HVAC, ETC. MUST BE PROTECTED AND REMAIN "LIVE" DURING CONSTRUCTION IN ORDER NOT TO DISTURB NORMAL BUSINESS.
- PROVIDE A MINIMUM OF TWO (2) 25 LB FIRE EXTINGUISHERS APPROVED FOR 'A', 'B' AND 'C' TYPE FIRES. TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN IN WORKING ORDER WHEN CONTRACT WORK IS IN PROGRESS.
- IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM PROJECT AREA AFTER A MAJOR DEMOLITION OPERATION BEFORE COMMENCEMENT OF THE NEXT NORMAL WORKING DAY.
- DO NOT MIX RUBBISH WITH THAT OF THE BUILDING OCCUPANTS. ALL REMOVALS SHALL BE COORDINATED WITH BUILDING MANAGER.
- DEMOLITION AND REMOVAL OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
- DEMOLITION SHALL BE DONE IN A NEAT WORKMAN LIKE MANNER, WITHIN THE LIMITS INDICATED ON THE DRAWINGS, AND IN ALL CASES, TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
- CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AND POWER TO ACCOMMODATE BOTH REMOVAL OF EXISTING AND INSTALLATION OF NEW WORK.
- G.C. TO OBTAIN A DEMOLITION PERMIT OR CONSTRUCTION PERMIT PRIOR TO THE COMMENCEMENT OF WORK. A COPY OF SUCH DOCUMENTS SHALL BE FURNISHED TO THE BUILDING MANAGER, OWNER TENANT AND THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- INSPECT, TEST AND DISCONNECT UTILITY SERVICES AND MAIN SOURCE OR MAIN BRANCH WITHOUT DISRUPTING UTILITY SERVICES FOR OTHER BUILDING TENANTS. UTILITY SERVICES TO REMAIN FOR THESE TENANTS. SECURELY CAP AND/OR VALVE OFF UTILITY SERVICES BEHIND FINISHED SURFACES OF INTENDED CONSTRUCTION PRIOR TO DEMOLITION OPERATIONS. UTILITY SERVICES SHALL BE DEFINED AS PLUMBING, ELECTRICAL, CHILLED WATER, CONDENSER WATER, AND GAS. EXISTING ELECTRIC FEEDS TO EXISTING LIGHTS TO BE REUSED WHEREVER POSSIBLE.
- PROVIDE AND MAINTAIN CARPET MATS IN FRONT OF ALL BASE BUILDING DOORWAYS USED BY CONSTRUCTION WORKERS FOR ACCESS, SUCH AS EXIT STAIR DOORWAYS AND THE LIKE. CARPET MATS SHALL BE LARGE ENOUGH TO PREVENT THE HAULING/SPREADING OF DIRT THROUGH THE BASE BUILDING PREMISES AND ELEVATOR CABS.

## GENERAL CONSTRUCTION NOTES:

- AS PART OF THIS CONTRACT, GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OPEN AND CLOSE ALL EXISTING CONSTRUCTION WITHIN AND OUTSIDE OF THE IMMEDIATE PROJECT SCOPE WHERE REQUIRED IN ORDER TO COMPLETE THE SPECIFIED WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO ELECTRICAL CIRCUITING AND ROUGING, PLUMBING LINES, SPRINKLER LINE, HVAC DUCTWORK AND CONTROLS, ETC.
- PROVIDE PROPER BLOCKING IN STUD WALLS WHERE FIXTURES, DEVICES, OR EQUIPMENT ARE TO BE MOUNTED. ALL WOOD BLOCKING TO BE FIRE RESISTANT TREATED. COORDINATE WITH ARCHITECT, AND COMPLY WITH ADA LAW.
- VERIFY ALL DIMENSIONS, BOTH HORIZONTAL AND VERTICAL, PRIOR TO CONSTRUCTION IN ALL AREAS OF PROJECT. NOTIFY ARCHITECT IF ANY DISCREPANCIES SHOULD OCCUR.

## ELECTRICAL NOTES:

- ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE, REVIEW ARCHITECTURAL DRAWINGS AND BE RESPONSIBLE FOR REVIEWING A FULL SET OF BID DOCUMENTS TO MAKE HIMSELF AWARE OF THE TOTAL JOB BEFORE SUBMITTING HIS PRICE.
- VERIFY ALL EXISTING SITE CONDITIONS IN THE FIELD AND INCLUDE IN THE BID, THE PRICE OF ALL WORK REQUIRED.
- ALL WORK SHALL BE INSTALLED CONCEALED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY DIMENSIONS OF FINISHED CONSTRUCTION PRIOR TO FABRICATION AND INSTALLATION OF FIXTURES AND EQUIPMENT.
- ELECTRICAL CONTRACTOR SHALL SUBMIT SAMPLES OF RECEPTACLES AND PLATES TO THE ARCHITECT FOR APPROVAL BEFORE MAKING HIS INSTALLATION.
- CONTRACTOR SHALL, AFTER HIS WORK IS COMPLETED, TEST THE ELECTRICAL DISTRIBUTION SYSTEM FOR SHORT CIRCUITS, LOOSE WIRING, ETC., TO THE SATISFACTION OF THE OWNER. ALL COSTS FOR THIS TEST SHALL BE BORNE BY THE CONTRACTOR.
- WIRING IN AIR PLENUM HUNG CEILINGS INSTALLED WITHOUT CONDUIT OR EMT SHALL BE TEFLON JACKETED AND PLENUM RATED.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL RACEWAYS AND WIRING FROM EQUIPMENT AND DEVICES TO THEIR SOURCE OF POWER.
- WHERE EQUIPMENT, LIGHTING FIXTURES AND WIRING DEVICES ARE SHOWN THE MINIMUM BRANCH CIRCUITING REQUIREMENTS SHALL BE AS FOLLOWS:
  - LIGHTING FIXTURES - 2#12, 1#12 GRD. - 3/4"
  - RECEPTACLES - 2#12, 1#12 GRD. - 3/4"
- HOMERUNS TO PANEL BOARDS SHALL CONTAIN NO MORE THAN (3) CIRCUITS NEUTRAL CONDUCTORS FOR ALL LIGHTING AND OFFICE POWER. MULTI-CIRCUIT HOMERUNS SHALL BE SIZED ONE TRADE SIZE LARGER THAN PHASE CONDUCTORS, MINIMUM #10 AWG (EXAMPLE: 3#12, 1#10, 1#12GRD - 3/4")
- WHERE LIGHTING SWITCH INDICATIONS ARE NOT SHOWN, SWITCHES SHALL BE CONNECTED TO CONTROL ALL SWITCHED FIXTURES WITHIN THE CORRESPONDING SPACE.

## GENERAL FINISH NOTES:

### WALLS

#### PAINT

- ALL EXISTING AREAS TO BE PAINTED SHALL BE CLEAN, FREE OF GREASE, SOIL AND DUST AND PROPERLY PREPARED TO ACCEPT NEW SPECIFIED PAINT FINISH. FIL ALL HOLES, DENTS AND CRACKS.
- SURFACES SHALL BE Sanded AS REQUIRED TO PROVIDE SMOOTH SURFACES.
- THE PROPER UNDERCOAT OF PAINT SHALL BE APPLIED AS REQUIRED FOR PROPER ADHESION AND APPLICATION OF FINISH COAT.
- ALL AREAS TO BE REPAINTED SHALL RECEIVE A MINIMUM OF ONE (1) COAT OF PAINT TO COVER UNLESS NOTED OTHERWISE.
- ALL AREAS OF NEW WORK (PATCHING ETC.) SHALL BE (3) COATS- (1) COAT PRIMER AND (2) FINISH COATS.
- PAINT FOR PRIMER COAT ON ACCENT WALLS SHALL BE AS SPECIFIED BY PAINT MANUFACTURER FOR COMPLETE COVERAGE OF EXISTING COLOR ON WALL.
- ALL WALLS TO BE PAINTED, SHALL BE IN EGG SHELL FINISH OR MANUFACTURER'S EQUAL UNLESS NOTED OTHERWISE.
- ALL DOOR FRAMES SHALL BE PAINTED IN SAME COLOR AS DOOR FINISH: SEMI-GLOSS.
- ALL DOORS AND DOOR FRAMES SHALL BE PAINTED IN CODE AS SPECIFIED. FINISH: SEMI-GLOSS.
- ALL DOORS AND DOOR FRAMES SHALL BE THE SAME COLOR AS WALL IT IS ON UNLESS NOTED OTHERWISE. FINISH: SEMI-GLOSS.
- ALL CLOSET INTERIORS SHALL BE PAINTED TO MATCH ADJACENT WALL(S) FINISH, UNLESS NOTED OTHERWISE.
- ALL SOFFITS AND FACIAS SHALL BE PAINTED AS SPECIFIED. FINISH: FLAT.
- ALL SOFFITS AND FACIAS SHALL HAVE WALLCOVERING AND/OR PAINT AS INDICATED ON ARCHITECT'S DRAWING. PAINT FINISH SHALL BE FLAT OR EQUAL.
- WHERE APPLICABLE, WALL FINISHES SHALL BE COMPLETED PRIOR TO INSTALLATION OF WALL BASE.
- ALL MATERIAL AND EQUIPMENT TO BE ELECTROSTATICALLY PAINTED SHALL BE WASHED WITH DETERGENT TO REMOVE ALL GREASE, GRIME AND DIRT. RUST SPOTS SHALL BE Sanded TO REMOVE RUST PARTICLES. AREA SHALL BE PRIMED AS REQUIRED BEFORE FINISH COAT OF PAINT IS APPLIED. PAINT SHALL BE APPLIED BY THE ELECTROSTAT PROCEDURE. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AREA FREE OF "PAINT DUST".
- SUBMIT A 5" X 5" PAINT COLOR CHIP FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING OR COMMENCEMENT OF WORK.
- UPON COMPLETION OF A ROOM OR AREA IT SHALL BE LEFT IN A CLEAN AND ORDERLY CONDITION WITH ALL USED PAINT EQUIPMENT PROPERLY DISPOSED OF. PAINT SPATTERS SHALL BE REMOVED FROM ALL WINDOW GLASS AND ALL SURFACES NOT BEING PAINTED.
- ALL SURFACES TO BE PAINTED SHALL BE LOAD TESTED TO INSURE THE ADDITIONAL LAYERS OF PAINT WILL ADHERE PROPERLY PRIOR TO THE START OF PAINTING.

## SURFACE PREPARATION STANDARDS:

### PREVIOUSLY COATED SURFACES.....S-W 12

MAINTENANCE PAINTING WILL FREQUENTLY NOT PERMIT OR REQUIRE COMPLETE REMOVAL OF ALL OLD COATINGS PRIOR TO REPAINTING. HOWEVER, ALL SURFACE CONTAMINATION SUCH AS OIL, GREASE, LOOSE PAINT, MILL SCALE DIRT, FOREIGN MATTER, RUST, MOLD, MILDEW, MORTAR, EFFLORESCENCE, AND SEALERS MUST BE REMOVED TO ASSURE SOUND BONDING TO THE TIGHTLY ADHERING OLD PAINT. GLOSSY SURFACES OF OLD PAINT FILMS MUST BE CLEAN AND DULL BEFORE REPAINTING. THOROUGH WASHING WITH AN ABRASIVE CLEANSER WILL CLEAN AND DULL IN ONE OPERATION, OR, WASH THOROUGHLY AND DULL BY SANDING. SPOT PRIME ANY BARE AREAS WITH AN APPROPRIATE PRIMER. RECOGNIZE THAT ANY SURFACE PREPARATION SHORT OF TOTAL REMOVAL OF THE OLD COATING MAY COMPROMISE THE SERVICE LENGTH OF THE SYSTEM. CHECK FOR COMPATIBILITY BY APPLYING A TEST PATCH OF THE RECOMMENDED COATING SYSTEM, COVERING AT LEAST 2 TO 3 SQUARE FEET. ALLOW TO DRY ONE WEEK BEFORE TESTING ADHESION PER ASTM D3359. IF THE COATING SYSTEM IS INCOMPATIBLE, COMPLETE REMOVAL IS REQUIRED PER ASTM D4259.

### SSPC-SP2 - HAND TOOL CLEANING

HAND TOOL CLEANING REMOVES ALL LOOSE MILL SCALE, LOOSE RUST, AND OTHER DETRIMENTAL FOREIGN MATTER. IT IS NOT INTENDED THAT ADHERENT MILL SCALE, RUST, AND PAINT BE REMOVED BY THIS PROCESS. MILL SCALE, RUST, AND PAINT ARE CONSIDERED ADHERENT IF THEY CANNOT BE REMOVED BY LIFTING WITH A DULL PUTTY KNIFE. BEFORE HAND TOOL CLEANING, REMOVE VISIBLE OIL, GREASE, SOLUBLE WELDING RESIDUES, AND SALTS BY THE METHODS OUTLINED IN SSPC-SP1.

### SSPC-SP3 - POWER TOOL CLEANING

POWER TOOL CLEANING REMOVES ALL LOOSE MILL SCALE, LOOSE RUST, AND OTHER DETRIMENTAL FOREIGN MATTER. IT IS NOT INTENDED THAT ADHERENT MILL SCALE, RUST, AND PAINT BE REMOVED BY THIS PROCESS. MILL SCALE, RUST, AND PAINT ARE CONSIDERED ADHERENT IF THEY CANNOT BE REMOVED BY LIFTING WITH A DULL PUTTY KNIFE. BEFORE POWER TOOL CLEANING, REMOVE VISIBLE OIL, GREASE, SOLUBLE WELDING RESIDUES, AND SALTS BY THE METHODS OUTLINED IN SSPC-SP1. FOR COMPLETE INSTRUCTIONS, REFER TO STEEL STRUCTURES PAINT 1. COUNCIL SURFACE PREPARATION SPECIFICATION NO.3.

## LVT FLOORING

### CONTRACTOR SHALL:

- SUPPLY FIRST CLASS WORKMANSHIP.
- PREPARE SURFACE AS REQUIRED TO RECEIVE SPECIFIED TILE FOLLOWING TILE MANUFACTURER'S SPECIFICATION.
- INSTALL TILE WITH SPECIFIED ADHESIVE AS RECOMMENDED BY MANUFACTURER.
- INSTALL THE RECOMMENDED TRIM WHERE REQUIRED.
- LAY OUT ALL TILE WORK SO AS TO MINIMIZE CUTS LESS THAN ONE HALF TILE IN SIZE.
- LOCATE TILE CUTS SO AS TO BE LEAST CONSPICUOUS.
- KEEP THE FACES OF THE TILE AS CLEAN AND FREE FROM ADHESIVE AS POSSIBLE TO FACILITATE CLEANUP. EXCESS ADHESIVE SHALL BE REMOVED.
- ENSURE THAT FINAL CLEANUP SHALL REMOVE ALL RESIDUE FOLLOWING DIRECTION FOR CLEAN UP SPECIFIED BY THE MANUFACTURER.
- ENSURE THAT TILE SHALL BE FLUSH WITH ADJACENT FLOOR COVERING.
- INSTALL TRANSITIONS AT TERMINATIONS TO ADJACENT FLOORING.
- CLEAN SURFACE TO BE TILED TO BE CLEAN AND FREE OF FOREIGN MATTER.
- ENSURE THAT SURFACES TO BE TILED SHALL BE LEVEL AS REQUIRED BY SPECIFIED TILE MANUFACTURER TO ENSURE A PROPER INSTALLATION.
- DETERMINE THE LOCATION OF ALL EXPANSION JOINTS BEFORE STARTING TILE WORK.
- EXISTING FLOOR COVERINGS
- MUST BE SINGLE LAYERED, NON-CUSHION BACKED, FULLY ADHERED, AND SMOOTH.
- SHOW NO SIGNS OF MOISTURE OR ALKALINE.
- WAXES, POLISHES, GREASE, AND GRIME MUST BE REMOVED.
- CUTS, CRACKS, GOUGES, DENTS AND OTHER IRREGULARITIES IN THE EXISTING FLOOR COVERING MUST BE REPAIRED OR REPLACED.
- NOTE: THE RESPONSIBILITY OF DETERMINING IF THE EXISTING FLOORING IS SUITABLE TO BE INSTALLED OVER TOP OF RESILIENT, RESTS SOLELY WITH INSTALLER/FLOORING CONTRACTOR ON SITE. IF THERE IS ANY DOUBT AS TO SUITABILITY, THE EXISTING FLOORING SHOULD BE REMOVED, OR AN ACCEPTABLE UNDERLAYMENT INSTALLED OVER IT. INSTALLATIONS OVER EXISTING RESILIENT MAY BE MORE SUSCEPTIBLE TO INDENTATION.

## INSTALLING PLANK/TILES

- INSTALLING OUT OF MULTIPLE BOXES IS RECOMMENDED.
- PLANK OR TILES MUST BE INSTALLED JOINT-TIGHT AND TENSION-FREE.
- FLOORING SHOULD HAVE A MINIMUM OF 6-8" SEAM STAGGER.
- MAKE SURE CUT EDGES ARE ALWAYS AGAINST THE WALL.
- TO PROPERLY CUT THE FLOORING, SCORE THE TOP SIDE OF THE MATERIAL WITH A UTILITY KNIFE, BEND THE PRODUCT AND FINISH THE CUT THROUGH THE BACKSIDE. THIS WILL ENSURE THE CLEANEST CUT.
- ROLL THE PLANK OR TILE WITH A 3 SECTION 100 LB. ROLLER. RE-ROLL THE ENTIRE GLUED FLOORING AREA WITH THE 100 LB. ROLLER WITHIN THE WORKING TIME OF THE ADHESIVE. CONTINUE TO ROLL THE FLOOR THROUGHOUT THE WORKING DAY TO ENSURE A PROPER BOND.
- NOTE: ADHERING TAPE TO THE SURFACE OF THE FLOORING COULD DAMAGE THE SURFACE. DO NOT USE TAPE TO SECURE FLOOR PROTECTION DIRECTLY TO THE FLOORING SURFACE DURING CONSTRUCTION OR RENOVATION. ADHERE TAPE TO THE PROTECTION MATERIAL, SUCH AS RAMBOARD, AND ADHERE THE TAPE TO BASE MOLDING ALONG THE WALL.
- NOTE: RECOMMENDED TO USE FLOOR PROTECTION AFTER INSTALLATION. DO NOT USE A PLASTIC ADHESIVE-BASED PROTECTION SYSTEM.

## WALL BASE

### CONTRACTOR SHALL:

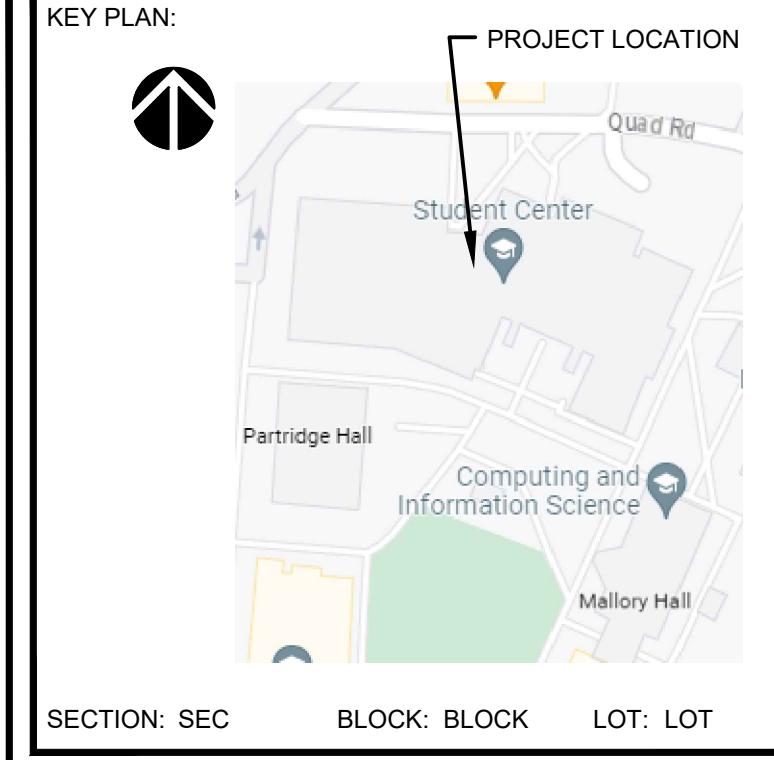
- REMOVE ALL EXISTING WALL BASE IN AREA RECEIVING NEW FLOOR COVERING AND REPLACE WITH NEW AS SPECIFIED BY THE ARCHITECT.
- INSTALL WALL BASE AFTER WALL FINISHES HAVE BEEN COMPLETED.
- REPLACE DAMAGED AND/OR ADD ADDITIONAL WALL BASE AS REQUIRED IN PROJECT AREA.
- INSTALL COVE BASE IN AREAS HAVING V.C.T., RUBBER TILE AND PAINTED FLOOR.
- INSTALL STRAIGHT BASE IN AREAS HAVING CARPET, UNLESS NOTED OTHERWISE.
- MATCH NEW WALL BASE IN QUALITY AND COLOR TO EXISTING IN PROJECT AREA, UNLESS NOTED OTHERWISE.
- APPLY ADHESIVE OF THE QUALITY AS RECOMMENDED BY MANUFACTURER.

## GYPSUM BOARD FINISH STANDARDS

### LEVEL 4 IS REQUIRED OTHERS PROVIDED AS A REFERENCE

#### CONTRACTOR SHALL FINISH GYPSUM BOARD SURFACES AS FOLLOWS:

- LEVEL 0  
NO TAPE, FINISHING OR ACCESSORIES REQUIRED.
- LEVEL 1  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE SET IN JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE. JOINT COMPOUND APPLIED OVER THE BODY OF THE TAPE AT THE TIME OF TAPE EMBEDMENT SHALL BE CONSIDERED A SEPARATE COAT OF JOINT COMPOUND AND SHALL SATISFY THE CONDITIONS OF THIS LEVEL.
- LEVEL 2  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND ONE ADDITIONAL COAT OF JOINT COMPOUND APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.
- LEVEL 3  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. A THIN SKIM COAT OF JOINT COMPOUND OR A MATERIAL MANUFACTURED SPECIALLY FOR THIS PURPOSE, SHOULD BE APPLIED TO THE PREPARED SURFACE AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINISH PAINT. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.
- LEVEL 5  
ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. A THIN SKIM COAT OF JOINT COMPOUND OR A MATERIAL MANUFACTURED SPECIALLY FOR THIS PURPOSE, SHOULD BE APPLIED TO THE PREPARED SURFACE AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINISH PAINT. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.



CONSULTANTS:

COMMENTS:	DATE 08/02/2025	DESCRIPTION ISSUED FOR BID

REVISIONS :

REV.	DATE	DESCRIPTION

CLIENT INFORMATION:

**MONTCLAIR STATE UNIVERSITY**

STUDENT CENTER - LOBBY / LOCKER AREA  
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DRAWING TITLE: GENERAL NOTES

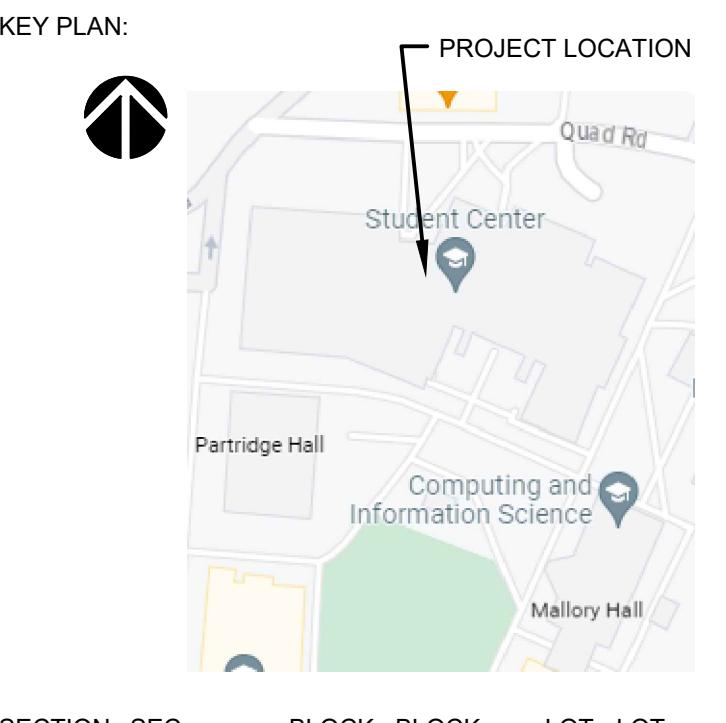
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CHECKED BY: CR	SCALE: AS NOTED
FILE NAME:	
BDG NUMBER: 24165.00	
SHEET NUMBER: G-1.00	

## NOTES: #

1. PER NFPA 7.10.8.3.1 ANY DOOR, PASSAGE, OR STAIRWAY THAT IS NEITHER AN EXIT NOR A WAY OF EXIT ACCESS AND THAT IS LOCATED OR ARRANGED SO THAT IT IS LIKELY TO BE MISTAKEN FOR AN EXIT SHALL BE IDENTIFIED BY A SIGN THAT READS AS FOLLOWS: NO EXIT
2. PER NFPA 7.10.8.3.2 THE NO EXIT SIGN SHALL HAVE THE WORD NO IN LETTERS 2 IN. (51 MM) HIGH, WITH A STROKE WIDTH OF 3/8 IN. (9.5 MM), AND THE WORD EXIT IN LETTERS 1 IN. (25 MM) HIGH, WITH THE WORD EXIT BELOW THE WORD NO, UNLESS SUCH SIGN IS AN APPROVED EXISTING SIGN.
3. FURNITURE NOTE: ALL FURNITURE WILL BE PURCHASED BY THE CONTRACTOR. LOCKERS WILL BE PROVIDED AND INSTALLED BY THE LOCKER VENDOR PITNEY BOWES.

## FIRE EXTINGUISHER :

 FE	2A RATED FIRE EXTINGUISHER MOUNTED WITH WALL BRACKET, MOUNT TOP AT 48" A.F.F.
	<ul style="list-style-type: none"> <li>• FIRE EXTINGUISHERS SHALL BE SPACED SO TRAVEL DISTANCE TO A EXTINGUISHER DOES NOT EXCEED 75' MAX</li> <li>• FLOOR AREA PER EXTINGUISHER TO BE 11,250 MAX</li> <li>• INSTALL FIRE EXTINGUISHERS COMPLYING WITH NFPA 10</li> </ul>



## CONSULTANTS:

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08/06/2025	ISSUED FOR BID

REV.	DATE	DESCRIPTION

CLIENT INFORMATION:
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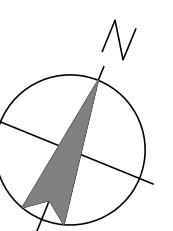
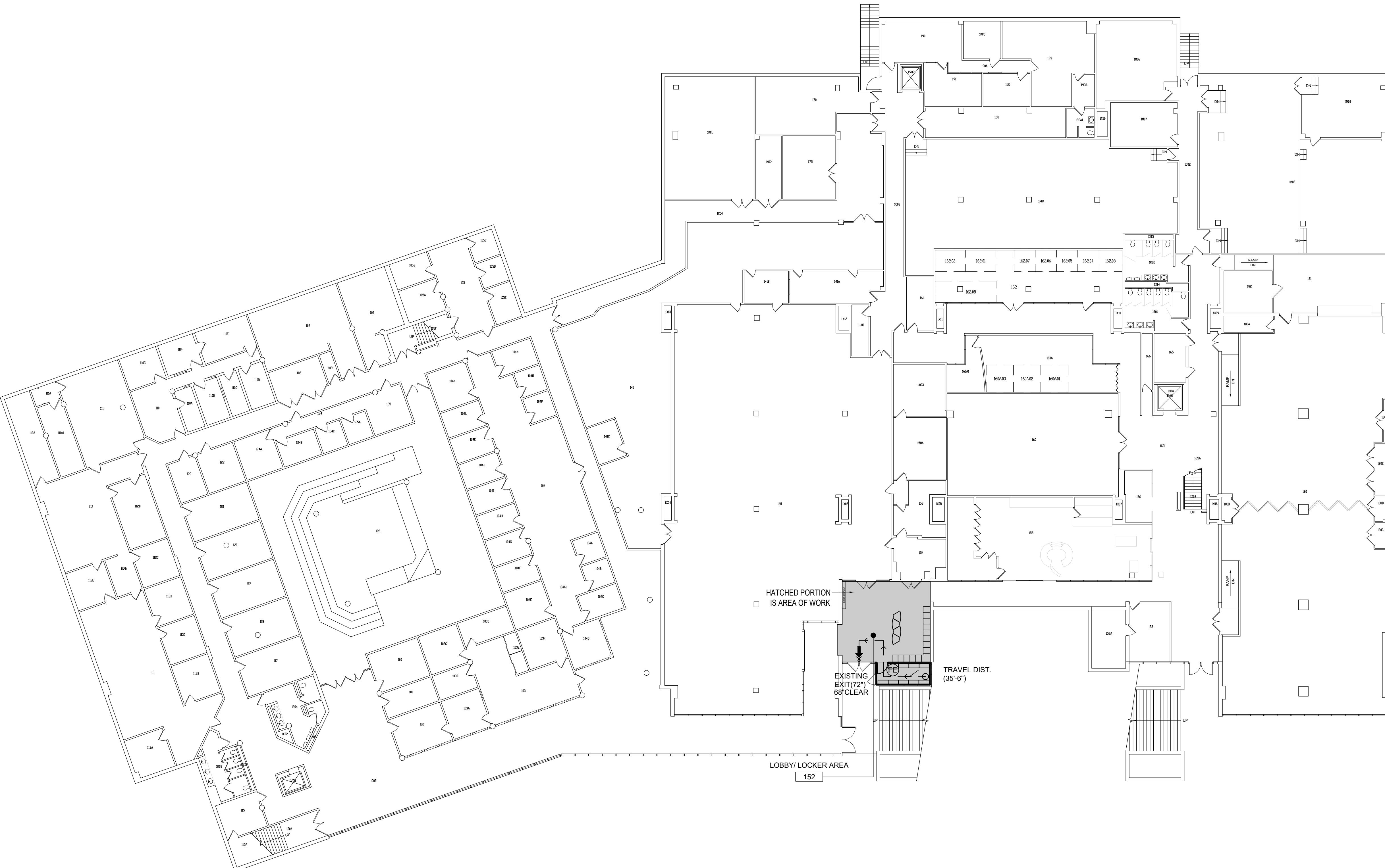
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DRAWN BY: HM	DATE: 01/28/25
CHECKED BY: CR	SCALE: AS NOTED

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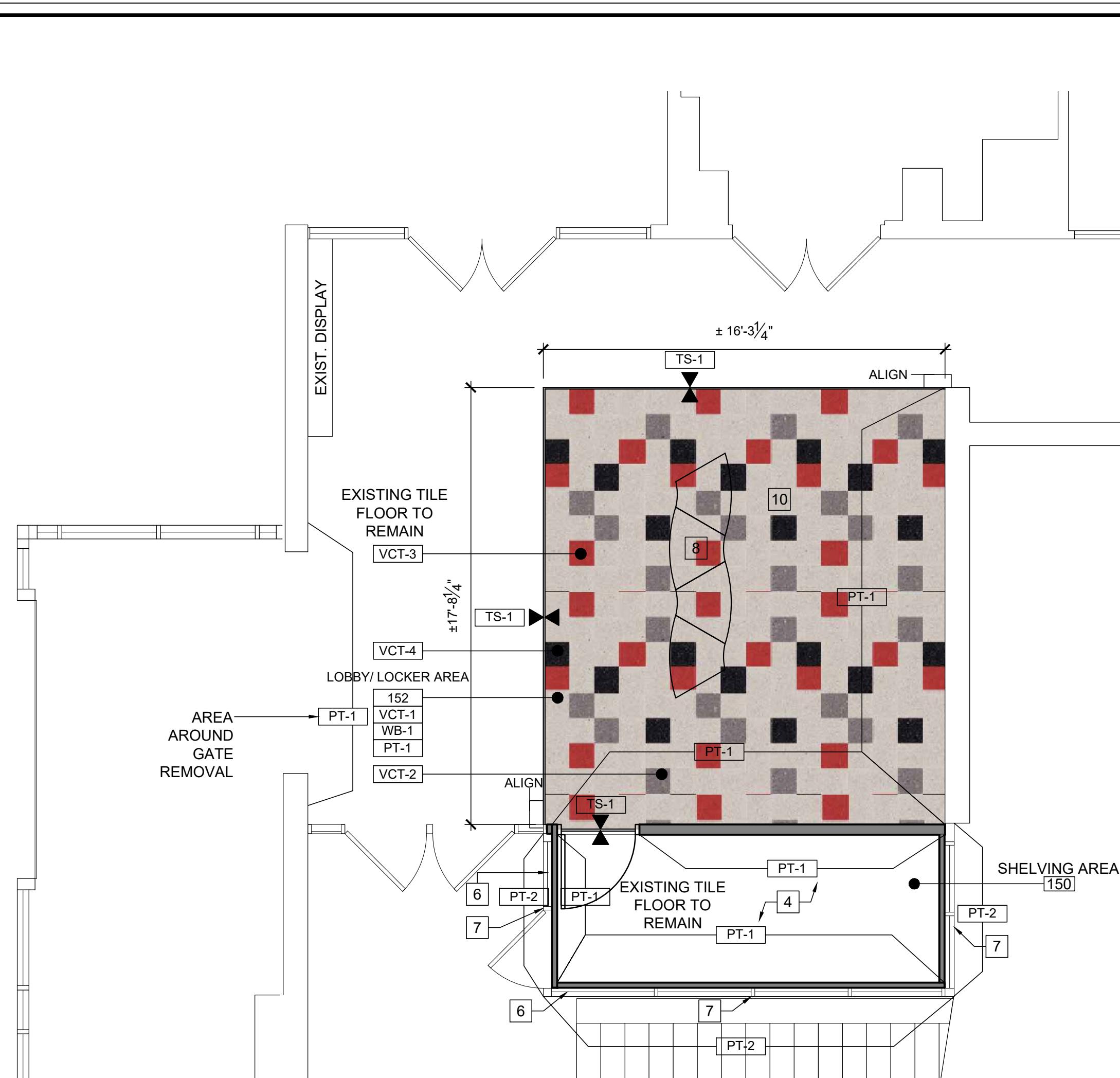
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1 EGRESS PLAN  
SCALE: 1/16" = 1'-0"



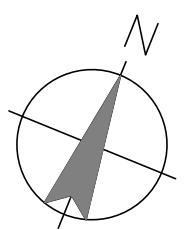




## FINISH PLAN LEGEND

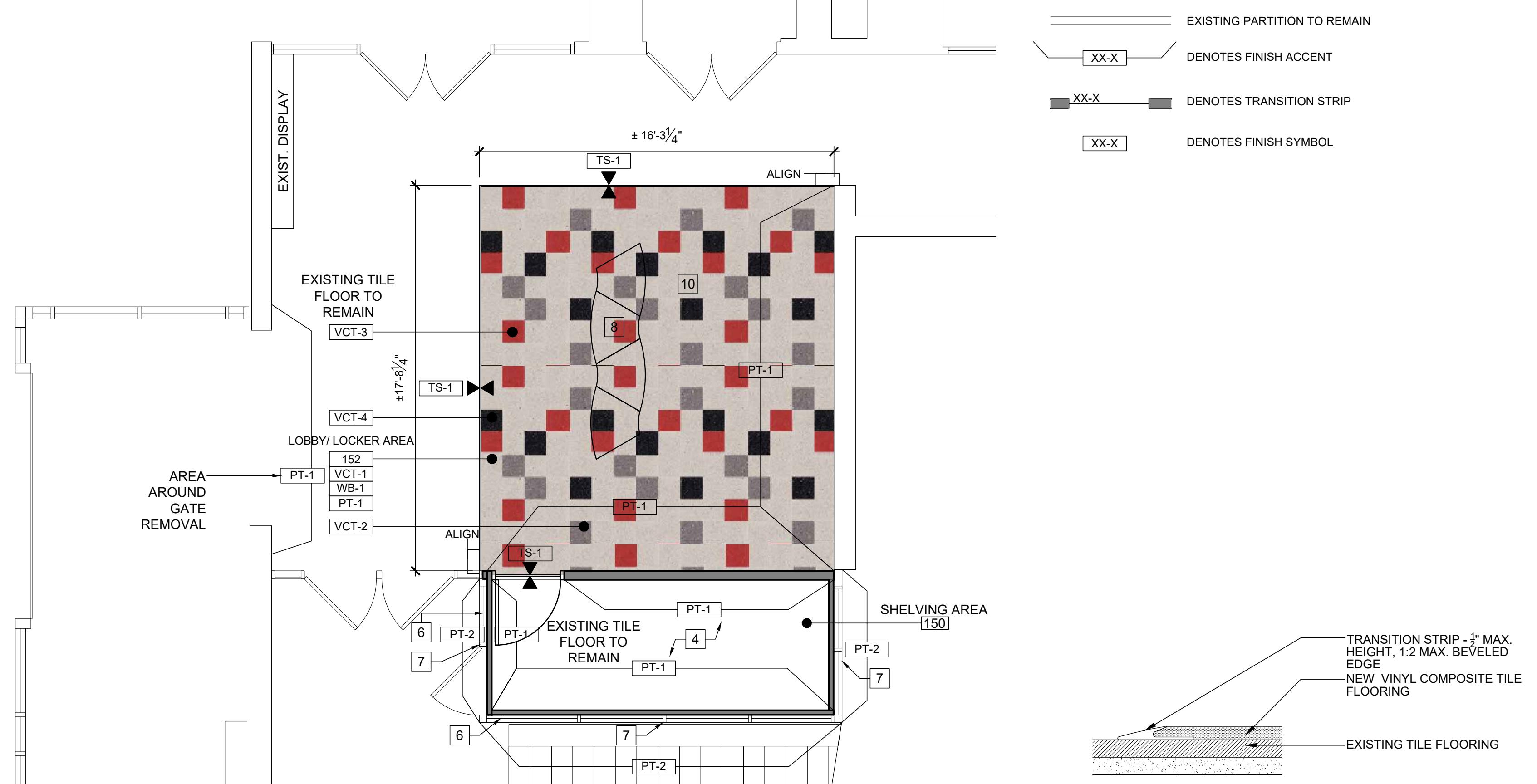
- PROPOSED GYPSUM BOARD PARTITION
- EXISTING PARTITION TO REMAIN
- DENOTES FINISH ACCENT
- DENOTES TRANSITION STRIP
- DENOTES FINISH SYMBOL

**1 FINISH PLAN**  
SCALE: 1/4" = 1'-0"

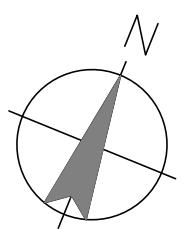


### FINISH NOTES: # REFERS TO KEYNOTE

- PATCH AND PREPARE WALLS TO RECEIVE NEW FINISHES.
- FLASH PATCH AND THOROUGHLY CLEAN EXISTING FLOOR SLAB AS REQUIRED TO PREPARE FLOOR TO A SMOOTH AND LEVEL SURFACE TO RECEIVE NEW FLOORING.
- ALL WALLS AND SOFFITS WITHIN THE AREA OF WORK TO RECEIVE NEW PAINTED FINISH AS SCHEDULED.
- CLEAN UP EXISTING TILE FLOORING AND WAX LIKE EXISTING TILE.
- PROVIDE 1 GAL. ATTIC STOCK FOR PT-1 AND PT-2.
- APPLY BLACKOUT WINDOW FILM ON EXISTING STOREFRONT GLAZING ON THE INTERIOR SIDE OF GLAZING. SUBMIT SAMPLES OF WINDOW FILM FOR APPROVAL. FILM SHALL PROVIDE COMPLETE INTERIOR PRIVACY SIMILAR TO SOLYX ULTRA COOL OR APPROVED EQUAL.
- EXISTING METAL ROOF AND ALUMINUM FRAMED GLAZING TO BE PAINTED - CLEAN AND PREPARE SURFACE AND PAINT COLOR TO MATCH EXISTING BUILDING EXTERIOR.
- NEW LOUNGE SEATING TO BE PROVIDED BY OWNER.
- ALL SPECIFIED PRODUCTS USED AS BASIS OF DESIGN. LISTED PRODUCTS OF EQUAL OR GREATER QUALITY MAY BE USED BUT MUST BE APPROVED.
- VCT FLOORING PATTERN TO BE LAID OUT EXACTLY AS SHOWN ON THE FINISH PLAN A1.03-1.



**2 TRANSITION DETAIL**  
SCALE: 6" = 1'-0"



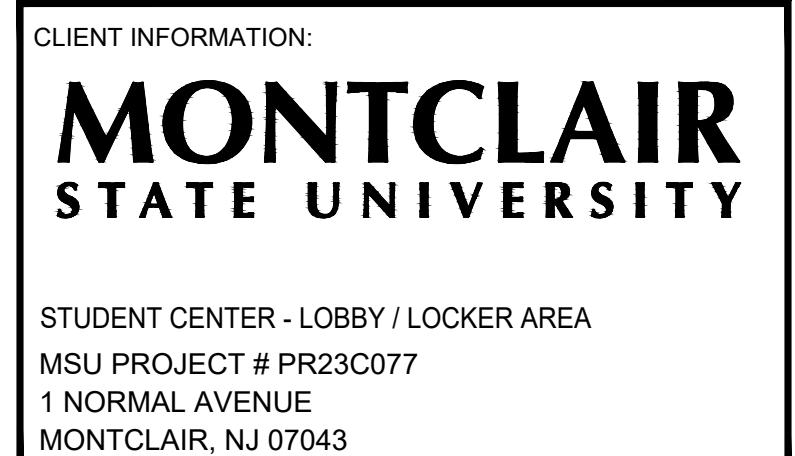
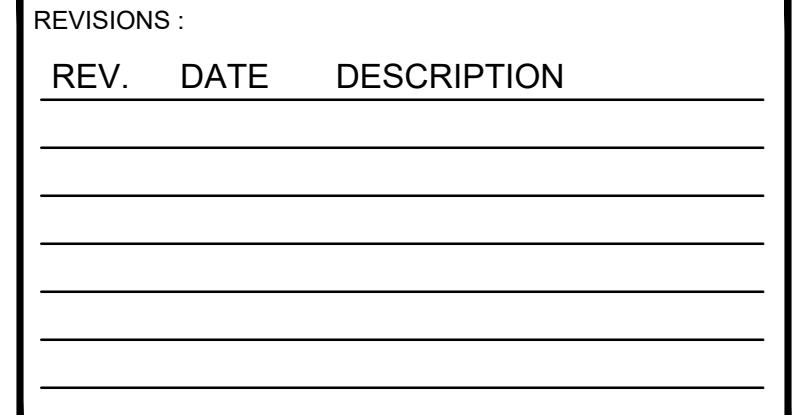
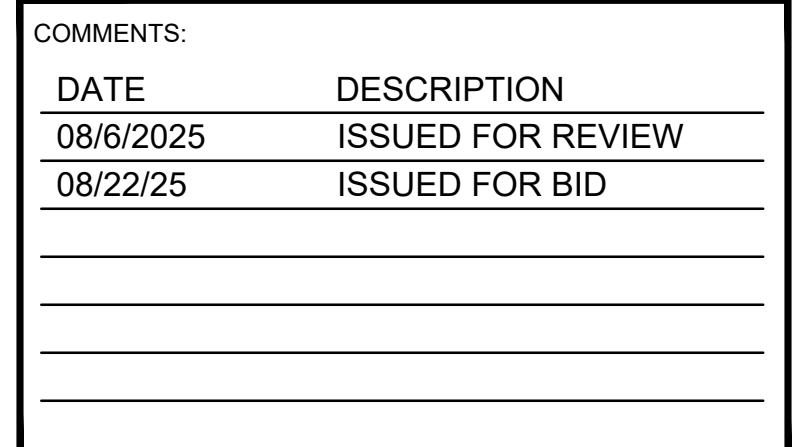
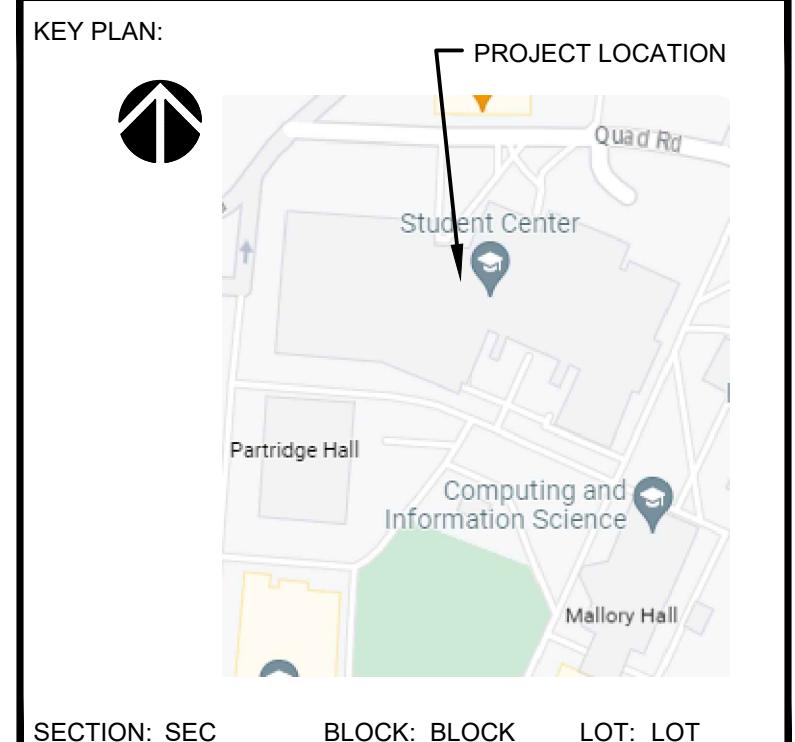
### INTERIOR FINISH SCHEDULE

INTERIOR FINISH SCHEDULE					
FLOORING					
FIN. NO.	ITEM	MANUF. / DISTRIBUTOR	MODEL / COLOR	FLAME SPREAD RATING	REMARKS
VCT-1	VINYL COMPOSITE TILE	TARKETT	TARKETT VCT II - PEWTER 12" X 12"	CLASS 1	INSTALLATION: MONOLITHIC, RANDOM
VCT-2	VINYL COMPOSITE TILE	TARKETT	TARKETT VCT II - STEELWORK 12" X 12"	CLASS 1	INSTALLATION: MONOLITHIC, RANDOM
VCT-3	VINYL COMPOSITE TILE	TARKETT	TARKETT VCT II - MATADOR 12" X 12"	CLASS 1	INSTALLATION: MONOLITHIC, RANDOM
VCT-4	VINYL COMPOSITE TILE	TARKETT	TARKETT VCT II - EBONY 12" X 12"	CLASS 1	INSTALLATION: MONOLITHIC, RANDOM
TS-1	TRANSITION STRIP	ROPPE - REDUCER	160 GLUE-DOWN REDUCER 3/16" COLOR: BLACK	CLASS A	UNDERCUT 3/16"; FLANGE AND TRANSITION COMBINED
WB-1	VINYL BASE	ROPPE	100 BLACK 4" NO TOE BASE		
WALL BASE					
WB-1	VINYL BASE	ROPPE	100 BLACK 4" NO TOE BASE		

TAG	COLOR
PT-1	TO MATCH EXISTING
PT-2	TO MATCH EXISTING
PT-3	BENJAMIN MOORE 967 CLOUD WHITE

### PAINTING SCHEDULE

INTERIORS
<b>PAINTED CMU:</b> PRIMER : IF NEEDED FOR SPOT PRIMING -LOXON ACRYLIC BLOCK SURFACER FINISH: PROMAR 200 HP ZERO VOC INTERIOR LATEX EGGSHELL
<b>GYPSUM BOARD:</b> PRIMER : IF NEEDED FOR SPOT PRIMING -PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER FINISH: PROMAR 200 HP ZERO VOC INTERIOR LATEX EGGSHELL
<b>HARD CEILINGS:</b> TOPCOAT: 1 COAT SHERWIN WILLIAMS LATEX DRY FALL FLAT, SW-7006 EXTRA WHITE
<b>METAL DOOR AND FRAME</b> TOPCOAT: SHERWIN WILLIAMS PRO INDUSTRIAL DTM ACRYLIC , GLOSS ENAMEL; COLOR: TO MATCH EXISTING
<b>EXTERIORS</b>
<b>METAL ROOF:</b> PRIMER: IF NEEDED FOR SPOT PRIMING- PRO INDUSTRIAL PROCRYL UNIVERSAL PRIMER FINISH: 2 COATS SHERCRYL HPA SEMI-GLOSS
<b>ALUMINUM STOREFRONT AND PAINTED GLASS AT THE TRANSOMS:</b> PRIMER: IF NEEDED FOR SPOT PRIMING- PRO INDUSTRIAL PROCRYL UNIVERSAL PRIMER FINISH: 2 COATS DTM ACRYLIC COATING



155 Village Boulevard, Suite 203, Princeton, NJ 08540  
Tel: 609-688-9100 Fax: 609-688-0600

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THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH ARE THE PROPERTY OF BDG ARCHITECTS. ANY INFRINGEMENTS OR ALTERATIONS BY OTHERS ARE PROHIBITED.

DRAWING TITLE: FINISH PLAN

DRAWN BY: HM	DATE: 01/28/25
CHECKED BY: CR	SCALE: AS NOTED

FILE NAME:

BDG NUMBER: 24165.00

SHEET NUMBER: A1.03

**1 ELEVATION**  
SCALE: 1/2" = 1'-0"

**2 ELEVATION**  
SCALE: 1/2" = 1'-0"

**6 CEILING GRID DETAIL**  
SCALE: NTS

**7 SEISMIC RX DETAILS**  
SCALE: 6" = 1'-0"

**8 GYPOBOARD SOFFIT DETAIL AT ROLLUP DOOR POCKET REMOVAL**  
SCALE: 3" = 1'-0"

NO	DOOR SIZE			FRAME			HDWR	REMARKS	
	WTH	HGT	THK	TYPE	HAND	MAT	FIN		
101	3' - 0"	7' - 0"	0' - 1 3/4"	1	RH	HM	PAINT	01	1 HR. FIRE RATED FRAME AND DOOR. PROVIDE INSULATED METAL DOOR.

1. ALL HARDWARE SHALL BE U.L. APPROVED. 2. QUALITY AND FINISH OF HARDWARE TO MATCH BUILDING STANDARD. 3. PROVIDE ALL ACCESSORIES AS RECD FOR COMPLETE INSTALLATION. 4. G.C. SHALL PROVIDE HARDWARE SUBmittALS AND VENDOR HARDWARE SCHEDULE FOR APPROVAL PRIOR TO PURCHASING AND INSTALLATION OF HARDWARE. 5. VENDOR SHALL DRAFT DOOR HARDWARE TO MATCH HEIGHT FOR NEW DOOR. 6. UNDERCUT DOOR LEAF TO FLOOR FINISH CLEARANCE AS REQUIRED. 7. DOOR FRAME TO BE PRE-DRILLED. 8. EACH DOOR LEAF TO HAVE 1 1/2" PAIR HINGES PER DOOR U.O.N. 9. ALL CLOSERS TO MEET ADA REQUIREMENTS OF 5 LBS. OF PRESSURE. 10. DOOR HARDWARE SHALL BE MOUNTED @ 34" MIN. & 48" MAX. ABOVE FINISHED FLOOR.				
NO.	HARDWARE	MANUFACTURER	MODEL NO.	REMARKS
A	BUTT HINGE	STANLEY	FBB SERIES 99 US32D	
B	SURFACE CLOSER	LCN	4040 SERIES 99 US32D	PUSH SIDE MOUNTING
C	SILENCERS	IVES	GJ-64	3 PER DOOR
D	WALL STOP	IVES	WS406407CCV	
E	STOREROOM LOCKSET	YALE	8805FLLEVER PACIFIC BEACH FINISH 619 SATIN NICKEL	STORAGE ROOM LOCK

**3 DOOR TYPE**  
SCALE: 3/4" = 1'-0"

**4 FRAME TYPE**  
SCALE: 3/4" = 1'-0"

**5 TYPICAL DOOR JAMB/ HEAD DETAIL**  
SCALE: 3" = 1'-0"

**6 CEILING GRID DETAIL**  
SCALE: NTS

**7 SEISMIC RX DETAILS**  
SCALE: 6" = 1'-0"

**8 GYPOBOARD SOFFIT DETAIL AT ROLLUP DOOR POCKET REMOVAL**  
SCALE: 3" = 1'-0"

KEY PLAN:  
PROJECT LOCATION  
Quad Rd  
Student Center  
Partridge Hall  
Computing and Information Science  
Mallory Hall  
SECTION: SEC BLOCK: BLOCK LOT: LOT

CONSULTANTS:

COMMENTS:  
DATE DESCRIPTION  
08/6/2025 ISSUED FOR BID

REVISIONS:  
REV. DATE DESCRIPTION

CLIENT INFORMATION:  
**MONTCLAIR STATE UNIVERSITY**

STUDENT CENTER - LOBBY / LOCKER AREA  
MSU PROJECT # PR23077  
1 NORMAL AVENUE  
UPPER MONTCLAIR, NJ 07043

**JRS ARCHITECT**  
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**bdg architects**  
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DRAWING TITLE:  
ELEVATIONS, DOOR SCHEDULE AND DETAILS

DRAWN BY: HM  
CHECKED BY: CR  
SCALE: AS NOTED

FILE NAME:  
BDG NUMBER: 24165.00

SHEET NUMBER: A3.01