

Interior Renovations Student Recreation Center Administration Office Reception Desk Montclair State University 1 Normal Avenue, Montclair, New Jersey

Project Team

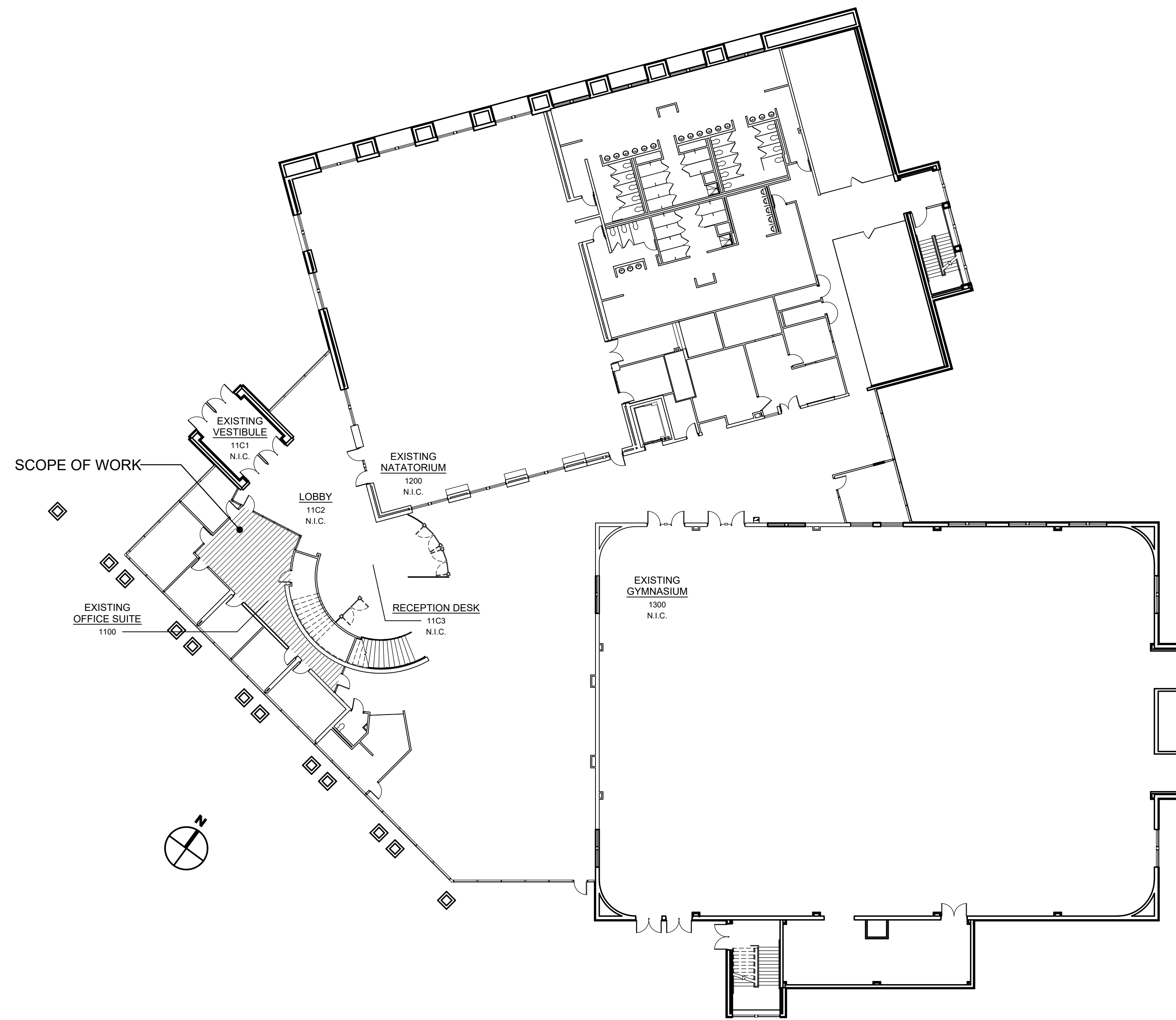
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Drawing Index

ARCHITECTURAL

- A000 CODE DATA, NOTES, LEGENDS
- A100 DEMOLITION PLAN, FLOOR PLAN AND ELEVATIONS
- A101 ENLARGED FLOOR PLAN, MILLWORK ELEVATIONS AND SECTIONS



Existing First Floor Plan - Scope of Work Area

Code Analysis

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV		TYPE V	
	A	B	A ^a	B	A ^a	B	HT	A ^a	B	
Structural frame*	3 ^b	2 ^b	1	0	1	0	HT	1	0	
Bearing walls										
Exterior ¹	3 ^b	2 ^b	1	0	2	2	1/HT	1	0	
Interior										
Nonbearing walls and partitions										
Exterior										
Interior										
Nonbearing walls and partitions	0	0	0	0	0	0	See Section 602.4.6	0	0	
Floor construction										
Including supporting beams and joists	2	2	1	0	1	0	HT	1	0	
Roof construction										
Including supporting beams and joists	1 ^{c,d}	1 ^{c,d}	1 ^{c,d}	0 ^d	1 ^{c,d}	0 ^d	HT	1 ^{c,d}	0	

Applicable Codes

UNIFORM CONSTRUCTION CODE (N.J.A.C. 5:23 - SUBCHAPTERS 1-12)
2021 INTERNATIONAL BUILDING CODE - NJ EDITION
2021 NATIONAL STANDARD PLUMBING CODE (N.J.A.C. 5:23-3.15)
2021 INTERNATIONAL MECHANICAL CODE (N.J.A.C. 5:23-3.20)
2021 INTERNATIONAL FUEL GAS CODE (N.J.A.C. 5:23-3.22)
LIFE SAFETY CODE NFPA-101 2012 EDITION
2017 ICC/ANSI A117.1-2017 BARRIER FREE SUB CODE
REHABILITATION SUB CODE: (N.J.A.C. 5:23-6)
2020 NATIONAL ELECTRICAL CODE (NFPA 70) (N.J.A.C. 5:23-3.16)
INTERNATIONAL ENERGY CONSERVATION CODE ASHRAE 90.1-2019

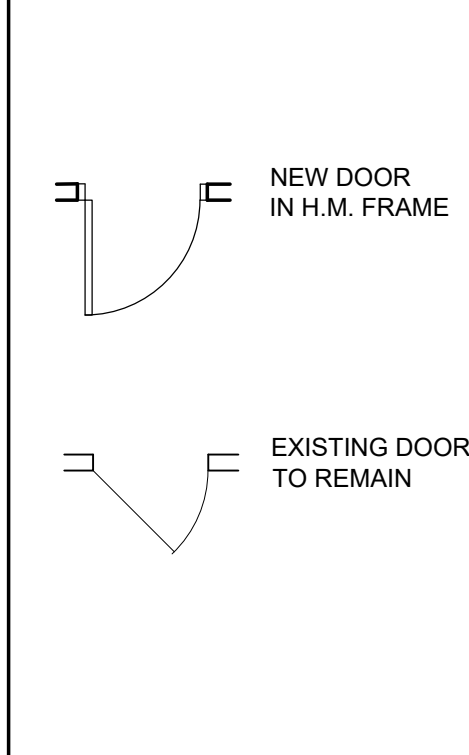
Building Analysis

USE GROUP: A
CONSTRUCTION CLASSIFICATION: IIB
FULLY SPRINKLERED: YES
AREA OF PROPOSED WORK: 816 S.F.
MAXIMUM OCCUPANCY LOAD: NO CHANGE

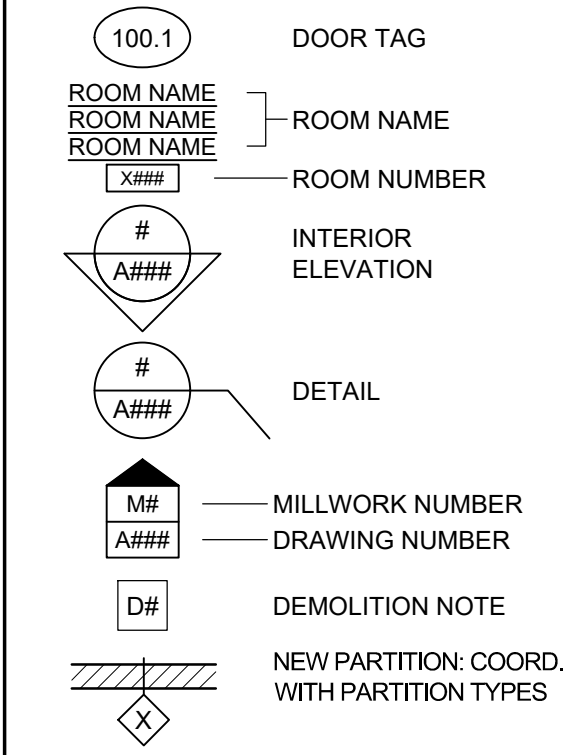
Abbreviations

A.F.F. ABOVE FINISH FLOOR	EXP. EXPOSED	EXP. EXPOSED EXTERIOR	O.C. ON CENTER PARTITION	ON CENTER PARTITION
ALUM. ALUMINUM	EXT. EXTERIOR	EXT. EXPOSED EXTERIOR	ALUM. ALUMINUM	ALUM. ALUMINUM
@ AT	FEET	FEET	PNT. PAINT	PAINT
ACOUS. ACOUSTIC	FIN. FINISH	FIN. FINISH	REV. REVISION	REVISION
ALT. ALTERNATE	FIN. FLR. FINISH FLOOR	FIN. FLR. FINISH FLOOR	R.O. ROUGH OPENING	ROUGH OPENING
BET. BETWEEN	F.E. FIRE EXTINGUISHER	F.E. FIRE EXTINGUISHER	RM. ROOM	ROOM
BLK. BLOCK OR BLOCKING	F.P. FIREPROOFING	F.P. FIREPROOFING	S.ECTS. SPECIFICATIONS	SPECIFICATIONS
BD. BOARD	F.O. FACE OF FLOOR	F.O. FACE OF FLOOR	SQ. FT. SQUARE FEET	SQUARE FEET
BOT. BOTTOM	FL. FLOOR	FL. FLOOR	S.S. STAINLESS STEEL	STAINLESS STEEL
BLDG. BUILDING	F.O.W. FACE OF WALL	F.O.W. FACE OF WALL	STL. STEEL	STEEL
B.O. BOTTOM OF	FOUND. FOUNDATION	FOUND. FOUNDATION	SUSP. SUSPENDED	SUSPENDED
CO. CORNER GUARD	GA. GAUGE	GA. GAUGE	T.O. TOP OF	TOP OF
CL. CENTER LINE	G.C. GENERAL CONTRACTOR	G.C. GENERAL CONTRACTOR	T.O.S. TOP OF SLAB	TOP OF SLAB
CONC. CONCRETE	HWR. HAND RAIL	HWR. HAND RAIL	T.O.STL. TOP OF STEEL	TOP OF STEEL
C.M.U. CONCRETE MASONRY UNIT	HT. HEIGHT	HT. HEIGHT	T.O.W. TOP OF WALL	TOP OF WALL
CONT. CONTINUOUS	H.M. HOLLOW METAL	H.M. HOLLOW METAL	TYP. TYPICAL	TYPICAL
CONTR. CONTRACTOR	HOR. HORIZONTAL	HOR. HORIZONTAL	U.L. UNDERWRITERS LABORATORY	UNDERWRITERS LABORATORY
C.O. CONTROL JOINT	INSUL. INSULATION	INSUL. INSULATION	U.O.N. UNLESS OTHERWISE NOTED	UNLESS OTHERWISE NOTED
COORD. COORDINATE	INT. INTERIOR	INT. INTERIOR	VERT. VERTICAL	VERTICAL
DET. DETAIL	MANUF. MANUFACTURER	MANUF. MANUFACTURER	VERIF. IN FIELD	VERIFY IN FIELD
DIAM. DIAMETER	MISC. MISCELLANEOUS	MISC. MISCELLANEOUS	W.C. WATER CLOSET	WATER CLOSET
DN. DOWN	N. NORTH	N. NORTH	WG. WALL GUARD	WALL GUARD
EA. EACH	N.I.C. NOT IN CONTRACT	N.I.C. NOT IN CONTRACT	W.P. WORK POINT	WORK POINT
EL. ELEVATION	N.T.S. NOT TO SCALE	N.T.S. NOT TO SCALE	W. WITH	WITH
E.O.S. EDGE OF SLAB	NWR. NO WORK REQUIRED	NWR. NO WORK REQUIRED	W/ WOOD	WOOD
EXIST. EXISTING				
EXP. /T EXPANSION JOINT				

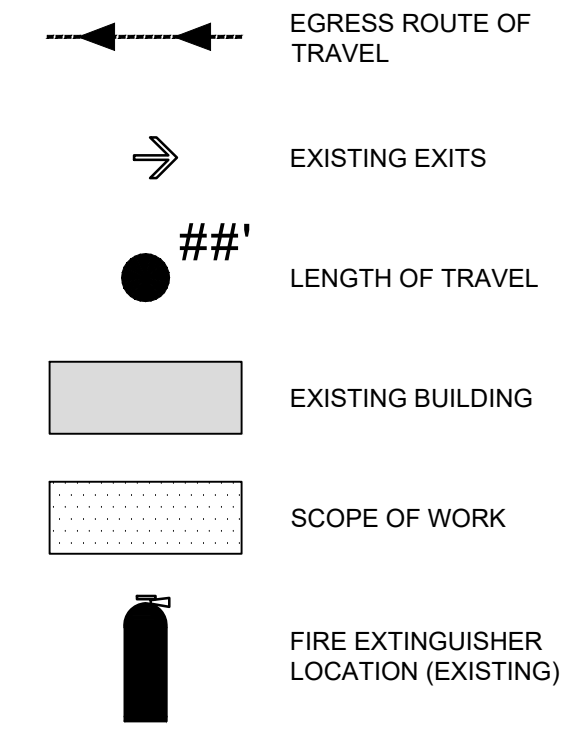
Door Legend



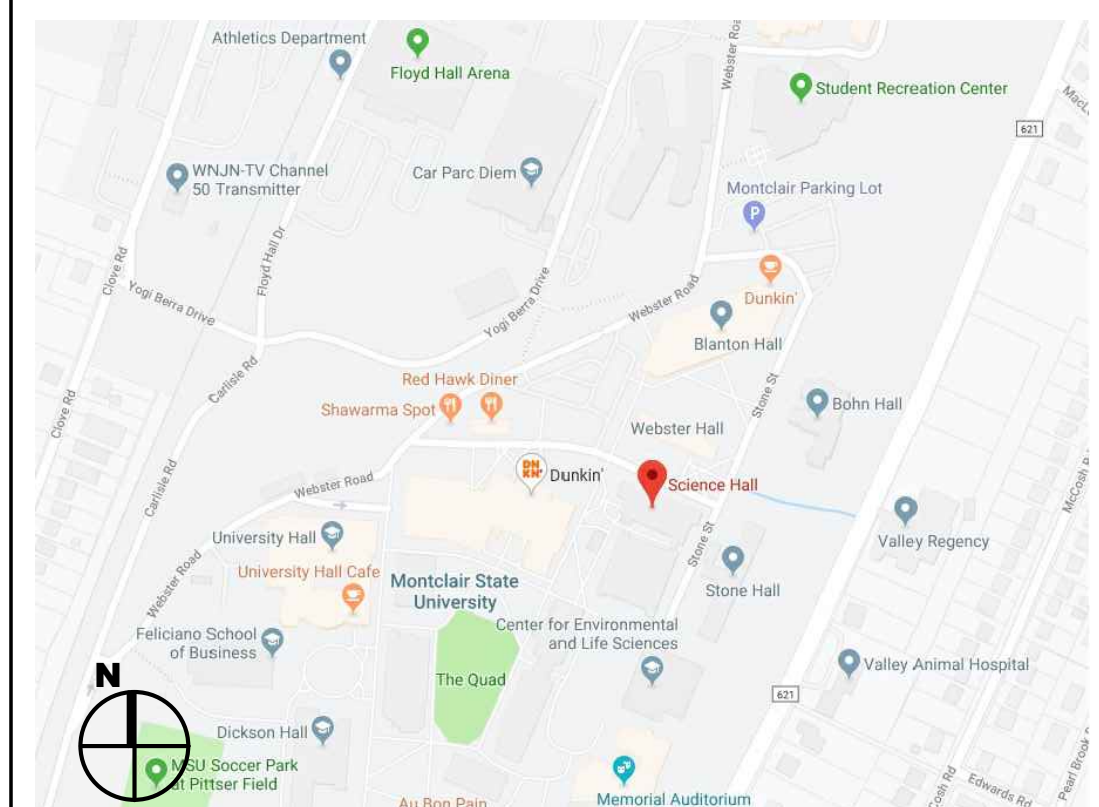
Symbol Legend



Egress Legend



Project Location Map



GENERAL CONSTRUCTION NOTES

DOCUMENT REVIEW
EACH CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL ARCHITECTURAL, HVAC, FIRE PROTECTION, PLUMBING & ELECTRICAL DRAWINGS. ALL DOCUMENTS CONTAIN INFORMATION WHICH IS COMPLIMENTARY TO EACH TRADE AND MUST BE REVIEWED & UNDERSTOOD PRIOR TO CONSTRUCTION OF THIS PROJECT.

WORKMANSHIP
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT BUILDING CODE OF ALL GOVERNING AUTHORITIES.
GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CHECK ALL MEASUREMENTS ON THE JOB AND SHALL BE RESPONSIBLE FOR SAME.
EACH SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE SITE AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. WORK SHALL NOT PROCEED UNTIL SUCH CLARIFICATION HAS BEEN RECEIVED. CLAIMS FOR EXTRA WORK RESULTING FROM FAILURE TO DO SO WILL NOT BE ALLOWED.
SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT DETAILS, FOR ARCHITECT'S REVIEW SHOWING THE PROPOSED METHODS TO ACCOMPLISH THE REQUIRED RESULTS, AND AWAIT ARCHITECT'S INSTRUCTIONS.
PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, ETC. SCHEDULED TO REMAIN. MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING. PROVIDE TEMPORARY PROTECTIVE DUST AND WATERTIGHT ENCLOSURES WHERE AND WHEN REQUIRED AS PER THE OWNERS DIRECTIVE.
EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MISALIGNMENT ACCORDING TO THE APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
THE AREA IMMEDIATE TO THE WORK SITE SHALL BE KEPT CLEAN AT ALL TIMES BY EACH SUB-CONTRACTOR. REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL. THE GENERAL CONTRACTOR WILL SUPPLY A CONTAINER FOR THIS PURPOSE. OWNER TO INSTRUCT OF APPROVED TEMPORARY ON-SITE LOCATION.

GYPSUM DRYWALL & FRAMING
ALIGN PARTITION AND WALL ASSEMBLIES TO A TOLERANCE OF ONE IN 200 HORIZONTALLY AND ONE IN 500 VERTICALLY. SPACE THE STUDS AS REQUIRED FOR COMPLIANCE WITH PERTINENT REGULATIONS TO GIVE PROPER SUPPORT FOR THE COVERING MATERIAL AND AS INDICATED ON THE DRAWINGS.
COORDINATE AND PROVIDE PROPER BACKING AND OTHER SUPPORT FOR ITEMS TO BE MOUNTED ON THE FINISH COVERING.
GYPSUM DRYWALL
SUBJECT TO COMPLIANCE WITH REQUIREMENTS PROVIDE PRODUCTS OF ONE OF THE FOLLOWING MANUFACTURERS:
GYPSUM BOARDS AND RELATED PRODUCTS:
GEORGIA-PACIFIC CORP.
GOLD BOND BUILDING PRODUCTS DIV., NATIONAL GYPSUM CO.
UNITED STATES GYPSUM CO.
PROVIDE GYPSUM BOARD OF TYPES INDICATED IN MAXIMUM LENGTHS AVAILABLE TO MINIMIZE END-TO-END JOINTS.

CARPENTRY
CONCEALED SPACES WITHIN WALL PARTITIONS SHALL BE FIRESTOPPED PER CODE. PROVIDE ONE LAYER OF 5/8" GYPSUM WALL BOARD ON EACH FACE OF ALL INTERIOR PARTITIONS, PROVIDE CORNER BEAD, CASING BEAD, "J" MOLD, TAPE ETC. AS REQUIRED. PROVIDE THREE COATS OF JOINT COMPOUND SANDED AND READY FOR THE SCHEDULED FINISH. APPLICATION PROCEDURES AND WORKMANSHIP FOR ALL GYPSUM WALL BOARD SHALL BE IN ACCORDANCE WITH ANSI A971. NO EXPOSED EDGE OR CORNER SHALL BE WITHOUT A PROTECTIVE BEAD.
ALL WOOD BLOCKING IN WALLS SHALL BE FIRE RETARDANT TREATED WOOD.
ALL METAL STRAPPING IN WALLS SHALL BE 18 GAGE STEEL.
FASTENERS AND ANCHORS:
• SCREWS: SELECT MATERIAL, TYPE, SIZE, AND FINISH REQUIRED FOR EACH USE. COMPLY WITH FS FF-S-111 FOR APPLICABLE REQUIREMENTS. FOR METAL FRAMING SUPPORTS, PROVIDE SCREWS AS RECOMMENDED BY MANUFACTURER.
• NAILS: SELECT MATERIAL, TYPE, SIZE, AND FINISH REQUIRED FOR EACH USE. COMPLY WITH FS FF-N-105 FOR APPLICABLE REQUIREMENTS.
ANCHORS: SELECT MATERIAL, TYPE, SIZE, AND FINISH REQUIRED BY EACH SUBSTRATE FOR SECURE ANCHORAGE. PROVIDE NONFERROUS METAL OR HOT-DIP GALVANIZED ANCHORS AND INSERTS ON INSIDE FACE OF EXTERIOR WALLS AND ELSEWHERE AS REQUIRED FOR CORROSION RESISTANCE. PROVIDE TOOTHED STEEL OR LEAD EXPANSION BOLT DEVICES FOR DRILLED-IN-PLACE ANCHORS.
COORDINATION: FIT CARPENTRY WORK TO OTHER WORK; SCRIBE AND COPE AS REQUIRED FOR ACCURATE FIT. CORRELATE LOCATION OF FURRING, NAILERS, BLOCKING, GROUNDS AND SIMILAR SUPPORTS TO ALLOW ATTACHMENT OF OTHER WORK.
INSTALLER MUST EXAMINE THE SUBSTRATES AND SUPPORTING STRUCTURE AND THE CONDITIONS UNDER WHICH THE CARPENTRY WORKS TO BE INSTALLED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF CONDITIONS DETRIMENTAL TO THE WORK. DO NOT PROCEED WITH THE INSTALLATION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN A MANNER ACCEPTABLE TO THE INSTALLER.

FLOORING
INSTALL RUBBER EDGE STRIPS AT UNPROTECTED OR EXPOSED EDGES, AND WHERE FLOORING TERMINATES. SCRIBE FLOORING TO WALLS, COLUMNS, CABINETS, FLOOR OUTLETS AND OTHER APPURTENANCES TO PRODUCE TIGHT JOINTS. FIT WALL BASE JOINTS TIGHT AND VERTICAL. MAINTAIN MINIMUM MEASUREMENT OF 18 INCHES BETWEEN JOINTS. MITER INTERNAL CORNERS. AT EXTERNAL CORNERS AND EXPOSED ENDS, USE PREMOLDED UNITS. INSTALL BASE ON SOLID BACKING. BOND TIGHT TO WALL AND FLOOR SURFACES. CLEAN FLOOR AND BASE SURFACES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PROHIBIT TRAFFIC ON FLOOR FINISH FOR 48 HOURS AFTER INSTALLATION.
EXISTING FLOORING IS TERRAZZO. CONTRACTOR SHALL PROTECT EXISTING FLOORING TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. SHOULD FLOORING BE DAMAGED DURING CONSTRUCTION, CONTRACTOR TO CARRY ALLOWANCE FOR REPAIR/REPLACEMENT OF TERRAZZO.

PAINTING
DO NOT APPLY MATERIALS WHEN SURFACE AND AMBIENT TEMPERATURES ARE OUTSIDE THE TEMPERATURE RANGES REQUIRED BY THE PAINT PRODUCT MANUFACTURER.
REMOVE ELECTRICAL PLATES, HARDWARE, LIGHT FIXTURE TRIM, ESCUTCHEONS AND FITTINGS PRIOR TO PREPARING SURFACES FOR FINISHING.
CORRECT DEFECTS AND CLEAN SURFACES THAT AFFECT THIS WORK. REMOVE EXISTING COATINGS THAT EXHIBIT LOOSE SURFACE DEFECTS. SEAL MARKS THAT MAY BLEED THROUGH SURFACE FINISHES.
GYPSUM BOARD SURFACES: FILL MINOR DEFECTS WITH FILLER COMPOUND. SPOT PRIME DEFECTS AFTER REPAIR.
PAINT EXPOSED CONDUIT AND ELECTRICAL EQUIPMENT OCCURRING IN FINISHED AREAS.
APPLY PAINT IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

EXTERIOR SURFACES STEEL - UNPRIMED ONE COAT OF ALKYD PRIMER TWO COATS OF ALKYD ENAMEL, SEMI-GLOSS	INTERIOR SURFACES CONCRETE MASONRY ONE COAT OF LATEX BLOCK FILLER TWO COATS OF ACRYLIC LATEX, SATIN
STEEL - SHOP PRIMED TOUCH-UP WITH ZINC RICH PRIMER TWO COATS OF ALKYD ENAMEL, SEMI-GLOSS	STEEL - UNPRIMED ONE COAT OF ALKYD PRIMER TWO COATS OF LATEX ENAMEL, SATIN
STEEL - GALVANIZED ONE COAT OF GALVANIZE PRIMER TWO COATS OF ALKYD ENAMEL, SEMI-GLOSS	STEEL - PRIMED TOUCH-UP WITH ORIGINAL PRIMER TWO COATS OF LATEX ENAMEL, SATIN
WOOD ONE COAT OF PRIMER TWO FINISH COATS	PLASTER, GYPSUM BOARD: ONE COAT OF LATEX PRIMER SEALER TWO COATS OF LATEX EGGSHELL

No.	Date	Description
8/15/23		Issue for Bid
		Revisions / Issues

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DO NOT SCALE. DRAWING MAY BE PRINTED AT REDUCED SCALE. CONSULT WITH ARCHITECT FOR DIMENSIONS.

Client:
Montclair State University
1 Normal Avenue
Montclair, NJ 07043

Project:
Admin Reception Desk Renovation at Student Recreation Center
MSU Project Number: PR20C014

Drawing Information:
Project No: 23.027
Date: 07/18/2023
Drawn By: SST
Checked By: CHK

Sheet Name:
Code Date, Notes and Legends

Sheet No:

A-000
Sheet 1 of 003

DEMOLITION NOTES

- A. THE FOLLOWING ARE MEANT TO GENERALLY DESCRIBE THE SCOPE OF THE SELECTIVE DEMOLITION ITEMS FOR THIS PROJECT. PRIOR TO BIDDING THIS PROJECT, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY QUANTITIES, MATERIALS, REQUIRED WORKING HEIGHTS (FOR REMOVALS SUCH AS CEILINGS), EXISTING FASTENING METHODS (FOR ACTUAL REMOVAL EFFORT REQUIRED), AND OTHER EXISTING CONSTRUCTION DETAILS RELEVANT TO THE EFFORT REQUIRED FOR THE DEMOLITION DESCRIBED HEREIN. THE CONTRACTOR IS RESPONSIBLE TO CAREFULLY REMOVE AND/OR RELOCATE ALL MATERIAL AND EQUIPMENT REQUIRED TO FACILITATE THE ALTERATIONS AND IMPROVEMENTS DESCRIBED IN THESE DOCUMENTS, WHETHER THE DEMOLITION ITEM OF WORK IS DESCRIBED IN THESE DOCUMENTS, OR NOT.
- B. DEMOLITION WORK, AS SPECIFIED HEREIN, IS TO BE PERFORMED COMPLETELY BY THE CONTRACTOR. "COMPLETELY" SHALL MEAN THE SPECIFIC OBJECT NAMED AND ANY ACCESSORY OR AUXILIARY ITEMS WHICH WOULD REASONABLY BE CONSIDERED AS PART OF THE ITEM NAMED SUCH AS FOUNDATIONS, FOOTINGS, RAILINGS, ELBOWS, BOLTS, NUTS, ETC. "COMPLETELY" SHALL ALSO MEAN ABOVE GRADE AND BELOW GRADE FOR ALL DEMOLITION REMOVAL AND DISPOSAL.
- C. THE DEMOLITION CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGES RESULTING FROM THE CONTRACTORS FAILURE TO DO SO SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY TEST PIT OR OTHER MEANS PRIOR TO DEMOLITION IN THE VICINITY OF THE UTILITIES.
- D. THE EXTENT OF ITEMS TO BE REMOVED ON THE DEMOLITION PLAN ARE SHOWN BY BROKEN LINES. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO THE START OF DEMOLITION WORK.
- E. PRIOR TO THE START OF WORK, IN EACH ROOM, THE CONTRACTOR SHALL VERIFY THAT ALL LOOSE FURNITURE, SHELVING, PICTURES, PROJECTION SCREENS, ARTWORK, VENDING MACHINES, TABLES, PLAQUES, DIRECTORIES, ROOM SIGNAGE, OFFICE EQUIPMENT, COMPUTERS, ETC. HAVE BEEN REMOVED FROM EACH ROOM. IF THIS HAS NOT BEEN DONE, NOTIFY THE OWNER IMMEDIATELY. DO NOT PROCEED WITH WORK UNTIL ROOM IS CLEAR AND EMPTY OF ANY/ALL ITEMS DESCRIBED HEREIN.
- F. DIMENSIONS GIVEN AND INFORMATION SHOWN REFLECT EXISTING CONDITIONS TAKEN FROM FORMER ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DOCUMENTS. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO REMOVAL AND DEMOLITION WORK, FABRICATION AND INSTALLATION OF NEW PARTITIONS AND MECHANICAL/ELECTRICAL COMPONENTS.
- G. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFFSITE DISPOSAL OF ANY AND ALL EXCESS MATERIAL AND OTHER UNSUITABLE MATERIAL UNABLE TO BE USED ON SITE.
- H. EXISTING FINISHES THAT HAVE BEEN PREVIOUSLY DAMAGED, OR ARE DAMAGED DURING CONSTRUCTION AND CONSTRUCTION WORK SHALL BE REPAIRED TO MATCH ADJACENT EXISTING CONSTRUCTION. ALL EXISTING FINISHES ARE TO BE ALTERED, REMOVED, AND REPAIRED AS REQUIRED TO PROVIDE NEW FINISHES AS SCHEDULED.
- I. ALL EXISTING WALLS, CEILINGS, TRIM, ETC. TO RECEIVE NEW PAINT FINISH SHALL BE REPAIRED, SCRAPPED, SANDED, AND CLEANED AS REQUIRED PRIOR TO APPLICATION OF NEW PAINT.
- J. WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NATIONAL, STATE, LOCAL, AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS AS DETERMINED BY AUTHORITIES HAVING JURISDICTION.
- K. ROOM NAMES AND NUMBERS REFLECT EXISTING CONDITIONS TAKEN FROM FORMER ARCHITECTURAL DOCUMENTS AND MAY DIFFER FROM WHAT IS IN THE FIELD.
- L. GENERAL CONTRACTOR SHALL COORDINATE REMOVAL OF ANY EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL OUTLETS, DEVICES OR SWITCHING LOCATED ON WALLS SCHEDULED TO REMAIN AND SHALL BE REMOVE ALL CIRCUITING / WIRING BACK TO THE ELECTRIC PANEL(S) PROVIDING POWER. GENERAL CONTRACTOR TO COORDINATE THE REMOVAL OF ALL PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS WITH RESPECTIVE CONTRACTORS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PATCHING AND REPAIR OF EXISTING WALL WHERE DEVICES ARE REMOVED AND SHALL PREPARE SURFACES AS REQUIRED TO RECEIVE NEW SCHEDULED FINISHES.

DEMOLITION LEGEND

- D1 REMOVE EXISTING MILLWORK RECEPTION DESK AND KNEE WALL PARTITION. TAKE SPECIAL CARE TO PROTECT WALLS AROUND RECEPTION DESK. PATCH, CLEAN AND REPAIR ADJACENT SURFACES TO REMAIN. PATCH AND REPAIR EXISTING WALLS AND FLOORS ADJACENT AS NECESSARY TO RECEIVE NEW FINISHES.
- D2 REMOVE ELECTRICAL/LOW VOLTAGE COMPONENTS, DOOR RELEASE CONTROL PANEL, TELEPHONE SYSTEM, DATA AND RECEPTACLES. SALVAGE AND RETURN COMPONENTS TO UNIVERSITY OFFICE OF INFORMATION TECHNOLOGY AND SECURITY RESPECTIVELY.
- D3 REMOVE EXISTING FLOORING FINISH (CARPET), BASE AND RELATED TRIM PIECES. PATCH, CLEAN AND PREPARE EXISTING FLOOR SLAB AS REQUIRED TO RECEIVE NEW SCHEDULED FINISH.
- D4 DEMOLISH EXISTING PLEXIGLASS WALL PROTECTION IN HALLWAY AND PREPARE WALLS TO RECEIVE NEW WALL PANELS. PREPARE WALLS CONSISTENT WITH LEVEL OF FINISH RECOMMENDED BY WALL PROTECTION MANUFACTURER.

GENERAL CONTRACTOR SHALL PROVIDE SIGNAGE STATING THAT WORK IS BEING DONE IN BUILDING AND SHALL BE POSTED AT FRONT DOOR AND NEAR WORK SITES PRIOR TO BEGINNING OF CONSTRUCTION. WORK AREA IS TO BE SECURED BY CAUTION TAPE, BARRICADE(S), CONES, ETC. TO PREVENT ACCESS TO WORK ZONES.

- RENOVATION SOLID WASTE AND RECYCLING REQUIREMENTS:**
- A. RECYCLING REQUIREMENTS: THE ITEMS BELOW ARE REQUIRED TO BE RECYCLED:**
1. FLUORESCENT LIGHT TUBES - PROPERLY BOXED & LABELED.
 2. ELECTRONIC BALLASTS IN 55 GALLON DRUMS LABELED.
 3. CEILING TILES THAT DO NOT CONTAIN ASBESTOS, ARE NOT COATED WITH FIBERGLASS, AND WITHOUT ATTACHED INSULATION - STACKED ON PALLETS SHRINK WRAPPED TO AVOID CONTAMINATION AND WASTE DAMAGE.
 4. ALUMINUM SIDING STACKED AND BOUND.
 5. CARDBOARD PACKING BOXES, BROKEN DOWN AND IN AN APPROPRIATE COVERED DUMPSTER.
 6. STEEL IN LABELED COVERED DUMPSTER.
 7. WOOD IN LABELED COVERED DUMPSTER.
 8. CARPET (ALL TYPES) AND PADDING IN LABELED COVERED DUMPSTER FROM RECYCLER.
 9. CONCRETE/BLOCK IN LABELED COVERED DUMPSTERS.

B. TRANSPORT: ALL ITEMS ARE TO BE PROPERLY TRANSPORTED TO APPROPRIATE RECYCLING CENTERS OR RETRIEVED BY RECYCLING COMPANIES.

C. SOLID WASTE: ALL OTHER WASTE MUST BE CAPTURED IN COVERED (DOG HOUSE STYLE) WASTE DUMPSTERS MUST BE REMOVED FROM SITE WHEN FULL. OVERLOADED DUMPSTERS WILL NOT BE TOLERATED.

FINISH NOTES & SPECIFICATIONS

1. ALL APPLIED MATERIALS SHALL BE CLASSIFIED CLASS "A" FLAME SPREAD RATING: FLAME SPREAD = 0-25, SMOKE DEVELOPED = 0-450
2. DECORATIVE MATERIALS AND TRIM SHALL BE RESTRICTED BY PERFORMANCE CRITERIA OF NFPA 101
3. ALL FLOOR TILE MATERIAL SHALL BE PROVIDED WITH A MIN. 0.60 COEFFICIENT OF FRICTION FACTOR.

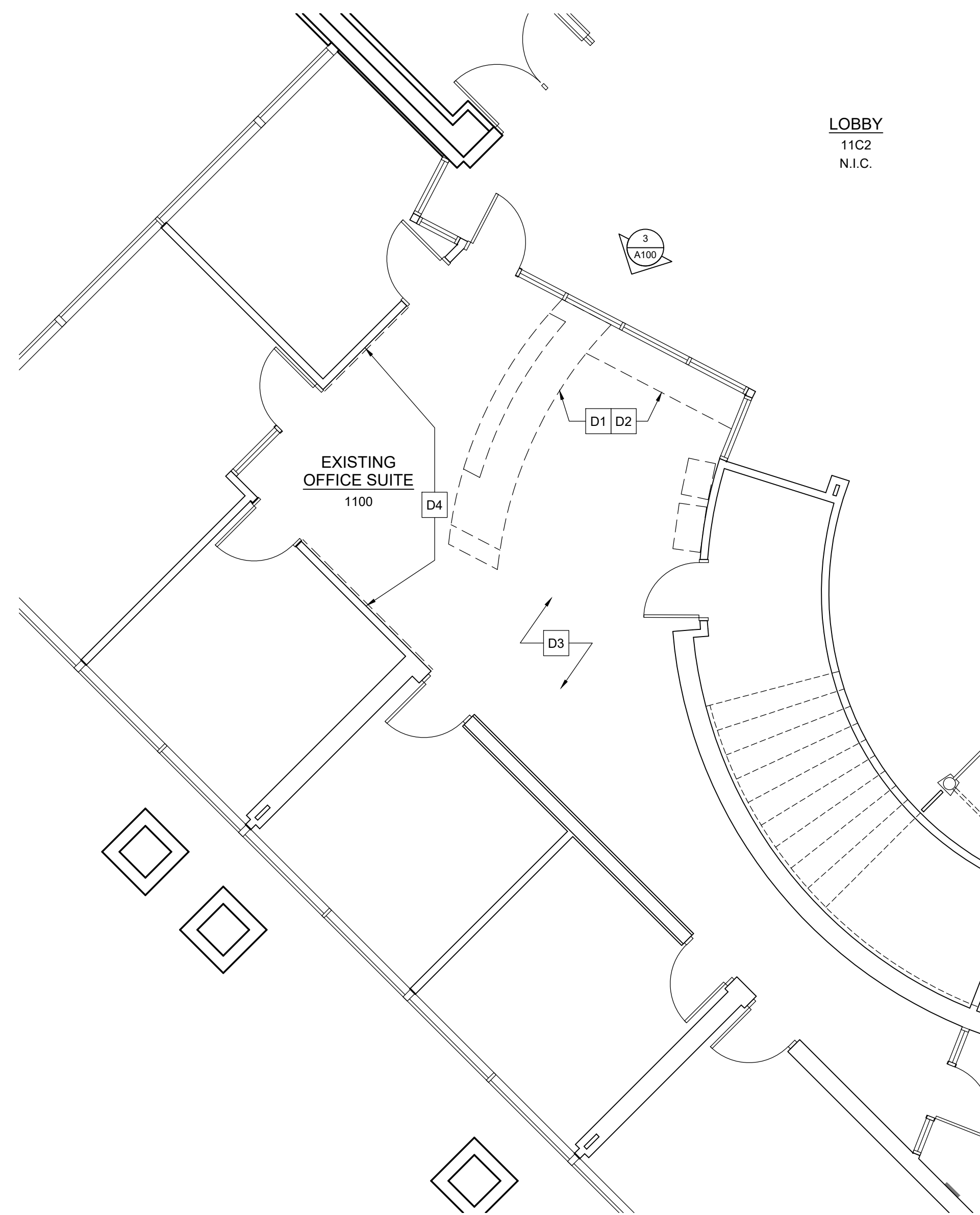
WALL COVERING (WC-1) MANUFACTURER: MDC PRODUCT: DEW15303 MAGNETIC RECEPTIVE WIDTH/THICKNESS/WEIGHT: 48" / 30 MILS / 54 OZ/SQ.YD.	PLASTIC LAMINATE (PL-1) MANUFACTURER: WILSONART COLOR/STYLE: PORT D14-60
WALL PROTECTION (WP-1) MANUFACTURER: MDC COLLECTION: DURATEC STYLE: PALOMAR COLOR: HAZELNUT MDV1041 WIDTH/THICKNESS/WEIGHT: 50-52" / .035" / 38 OZ/LYD INSTALLATION: ON ALL WALLS WITHIN EXISTING OFFICE SUITE 1100 U.O.N., FROM TOP OF 4" VINYL BASE TO 42" A.F.F.	PLASTIC LAMINATE (PL-2) MANUFACTURER: WILSONART COLOR/STYLE: LOFT OAK 7968K-12
LUXURY VINYL TILE (LVT-1) MANUFACTURER: SHAW CONTRACT COLLECTION: DIALOGUE STYLE: 4143V COLOR: DESCRIBE 43530 SIZE: 6" X 48" INSTALL: ASHLAR PATTERN	PLASTIC LAMINATE (PL-3) MANUFACTURER: WILSONART COLOR/STYLE: MAGNOLIA 5012K-19
VINYL BASE (VB-1) MANUFACTURER: JOHNSONITE COLOR/STYLE: DARK BROWN 44	PLASTIC LAMINATE (PL-4) MANUFACTURER: WILSONART COLOR/STYLE: GREY 1500-60
GLASS FILM (GF-1) MANUFACTURER: DECORATIVE FILM - SOLYX PRODUCT: SKWF-SSO SATIN SILVER OPAQUE SIZE: 60" ROLL WIDTH INSTALL: SEE ELEVATION 3/A-100	SOLID SURFACE (SS-1) MANUFACTURER: DUPONT CORIAN COLOR/STYLE: CIRRUS WHITE SIZE: 12MM GAUGE
	SOLID SURFACE (SS-2) MANUFACTURER: DUPONT CORIAN COLOR/STYLE: NATURAL GRAY SIZE: 12MM GAUGE

FINISH ABBREVIATIONS

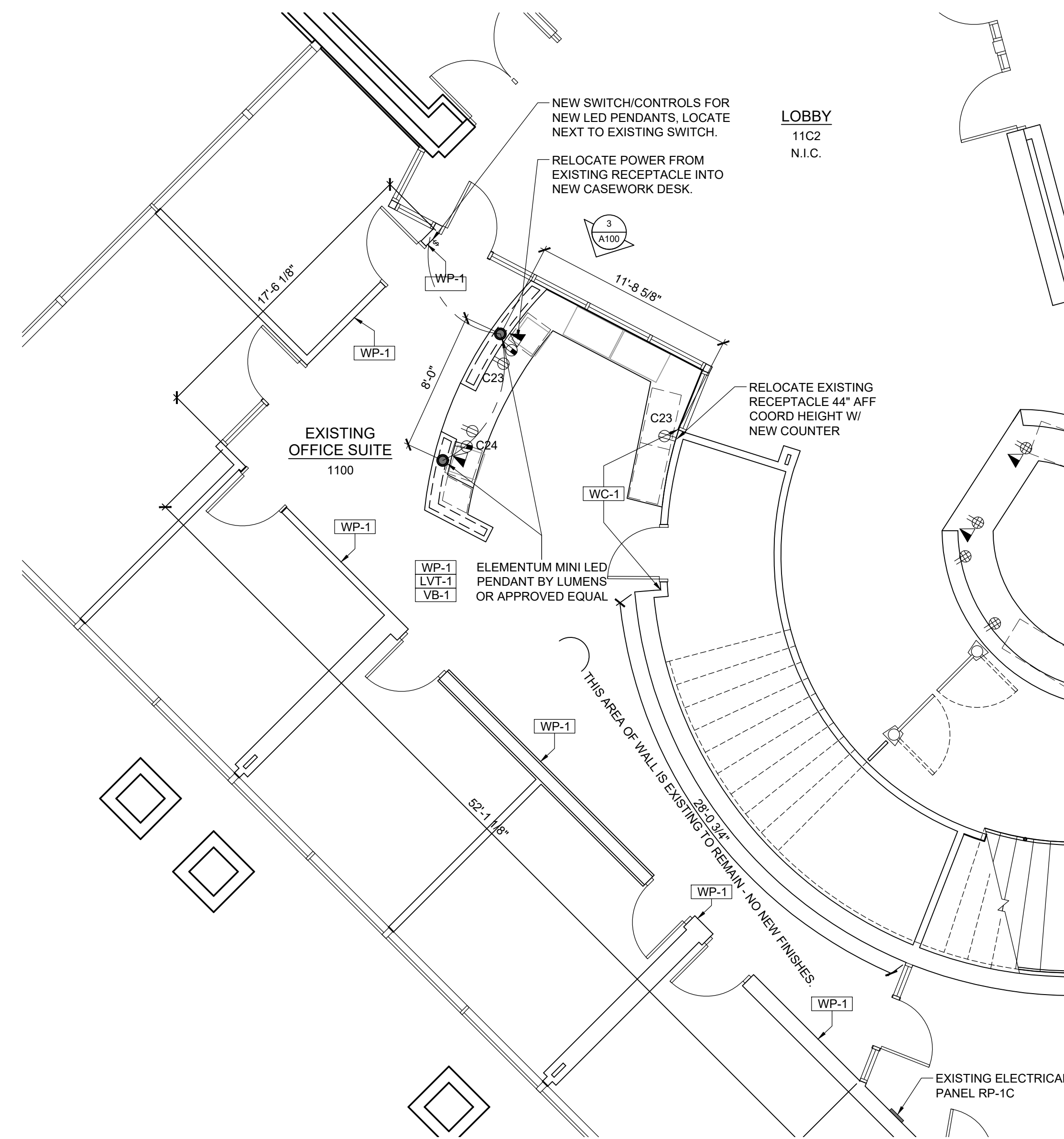
LIGHTING SCOPE

MATERIAL	ABBREVIATION
FLOORING:	
LUXURY VINYL TILE	LVT
BASE:	
VINYL BASE	VB
WALL:	
PAINT	PNT
WALL COVERING	WC
WALL PROTECTION	WP
MILLWORK:	
PLASTIC LAMINATE	PL
SOLID SURFACE	SS
MISCELLANEOUS:	
GLASS FILM	GF

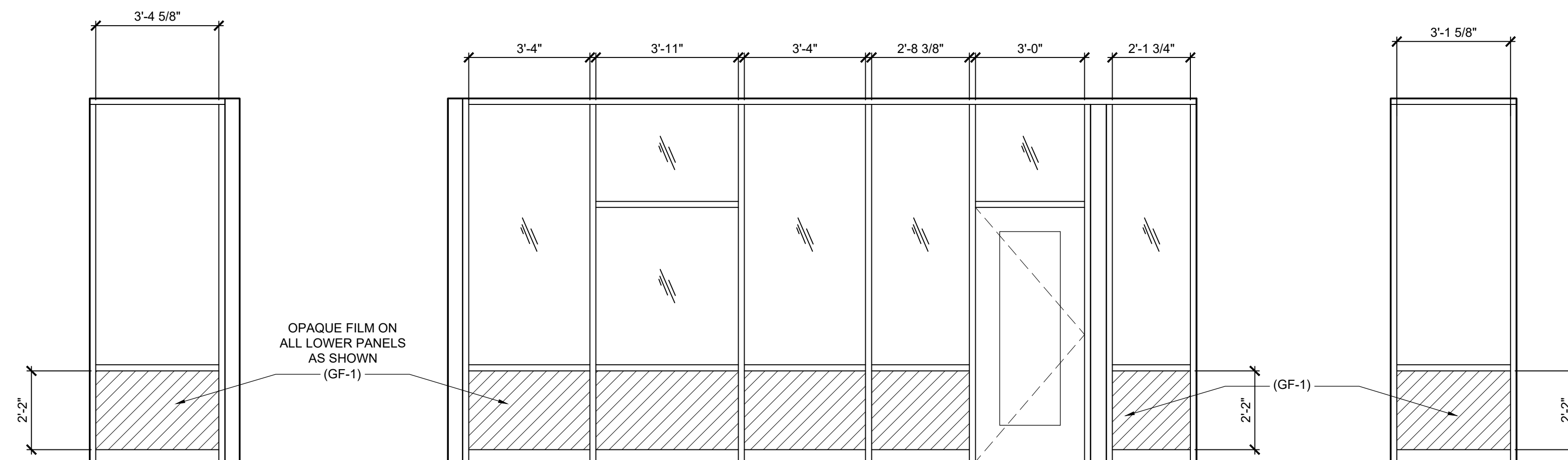
ADDITION OF (2) NEW LED PENDANTS ABOVE NEW RECEPTION DESK, WHERE NOTED IN PLAN, AND ONE NEW SWITCH WITH DIMMER. FIXTURE LOCATIONS TO BE VERIFIED IN FIELD AND COORDINATE WITH EXISTINGS TO REMAIN CEILING AND LIGHTING. NEW SWITCH TO BE LOCATED NEXT TO EXISTING SWITCH WITHIN SUITE 1100. PENDANTS ARE TO BE "ELEMENTUM MINI LED PENDANT BY LUMENS" OR APPROVED EQUAL.



1 Partial 1st Floor Demolition Plan
SCALE: 3/16" = 1'-0"



2 Partial 1st Floor Plan - New Work
SCALE: 3/16" = 1'-0"



3 Hollow Metal Elevation
SCALE: 3/8" = 1'-0"

No.	Date	Description
8/15/23		Issue for Bid

Revisions / Issues

DIGroupArchitecture
ARCHITECTURE FOR CHANGE

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Jeffrey D. Venezo, AIA
NJ RA # 00827109

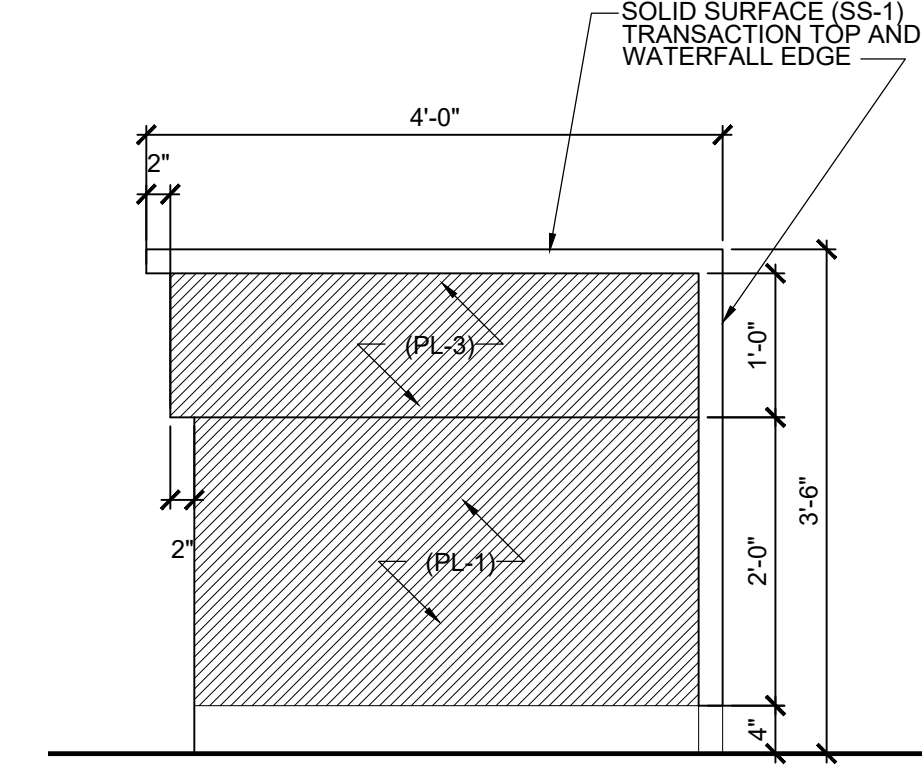
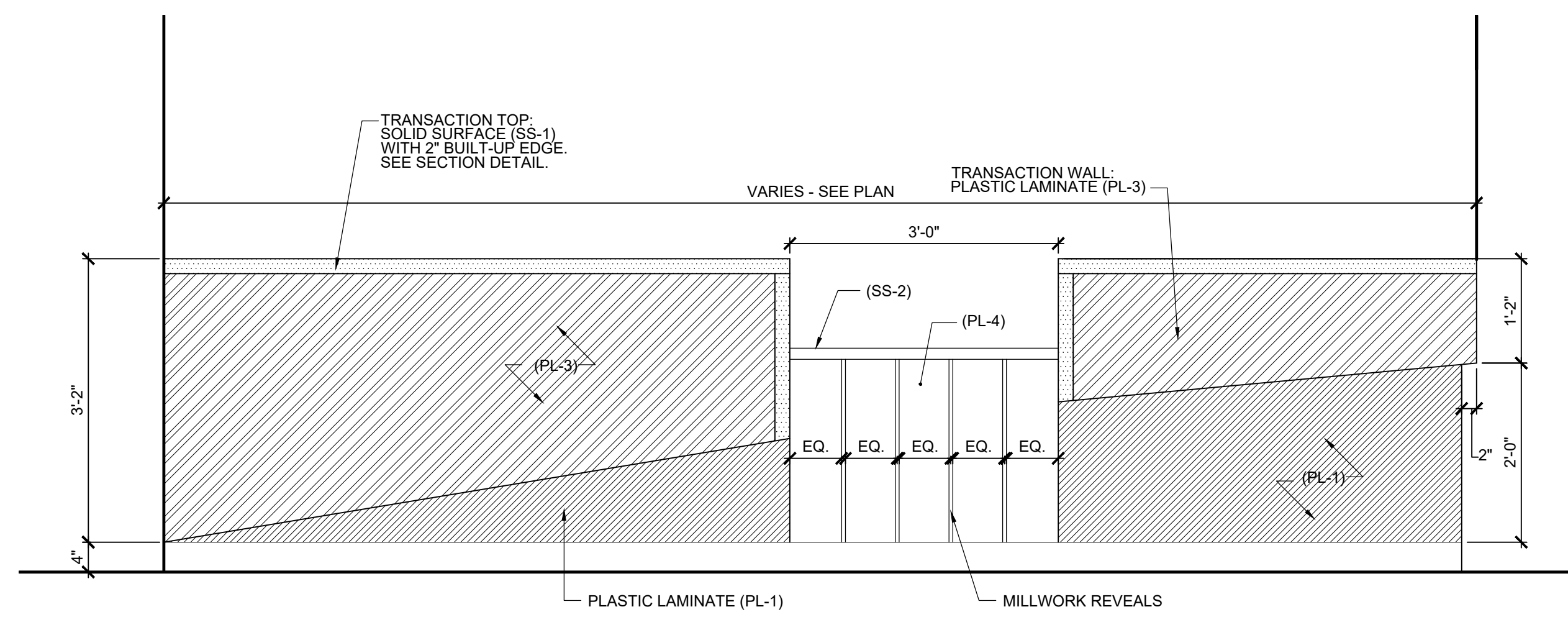
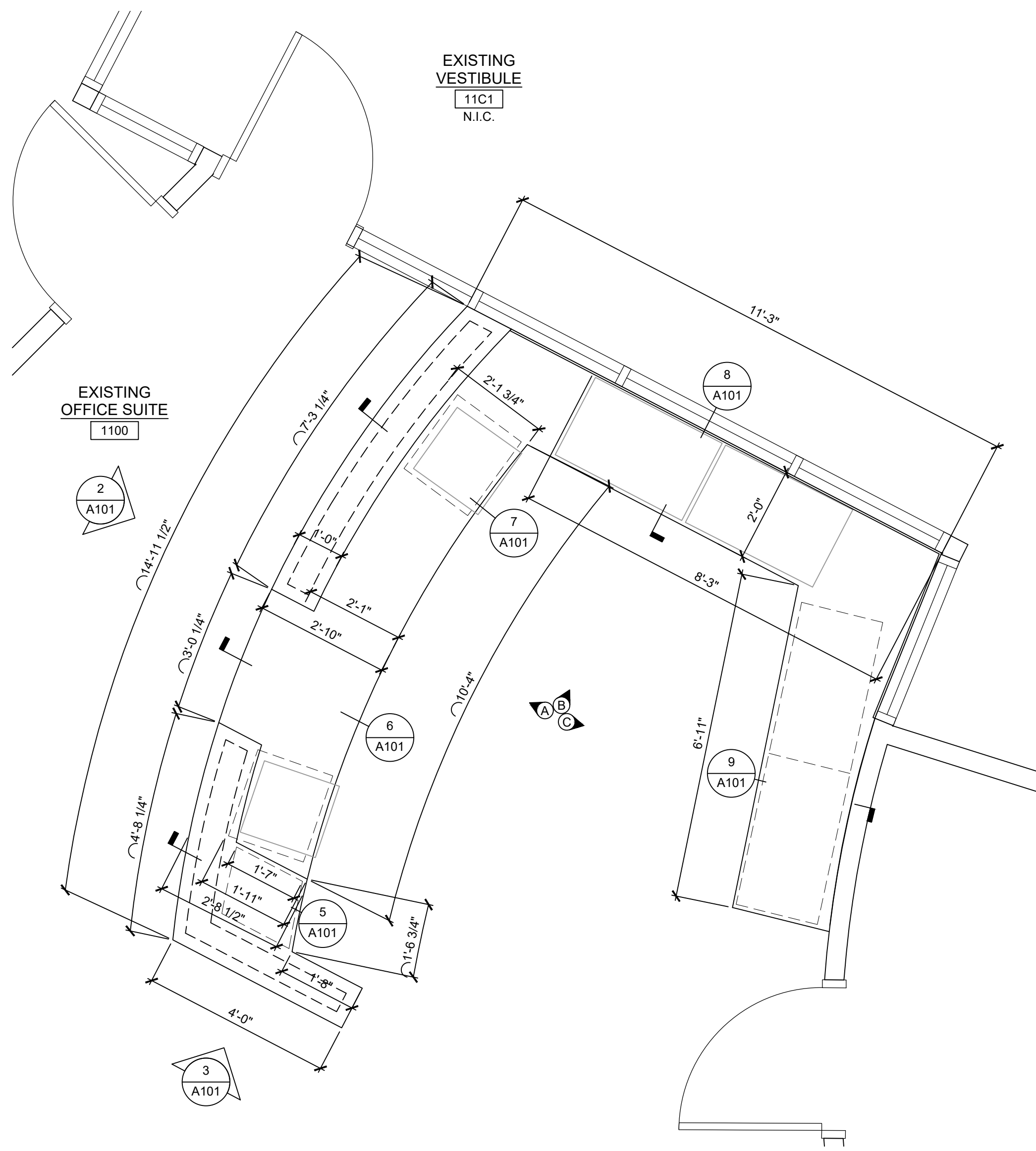
Client:
Montclair State University
1 Normal Avenue
Montclair, NJ 07043

Project:
Admin Reception Desk Renovation at
Student Recreation Center
MSU Project Number: PR20C014

Drawing Information:
Project No: 23.027
Date: 07/18/2023
Drawn By: SST
Checked By: CHK

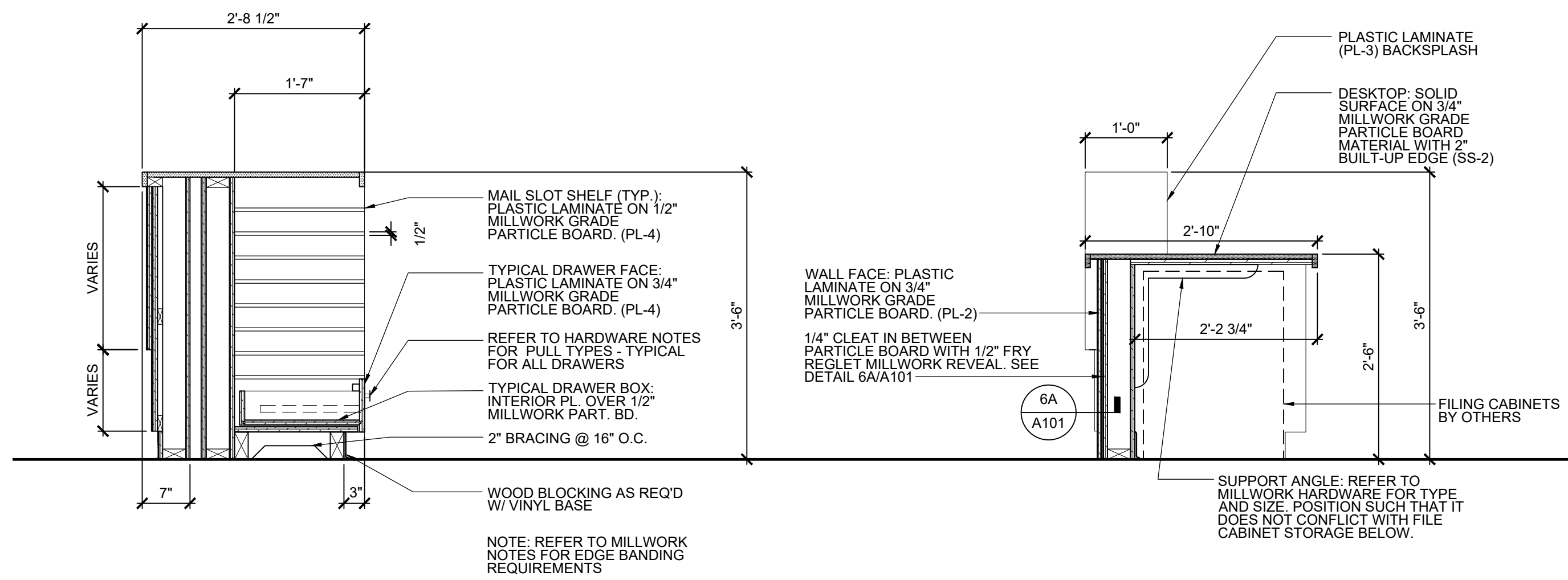
Sheet Name:
Demolition Plan, Floor Plan and
Elevations

Sheet No:
A-100
Sheet 2 of 003

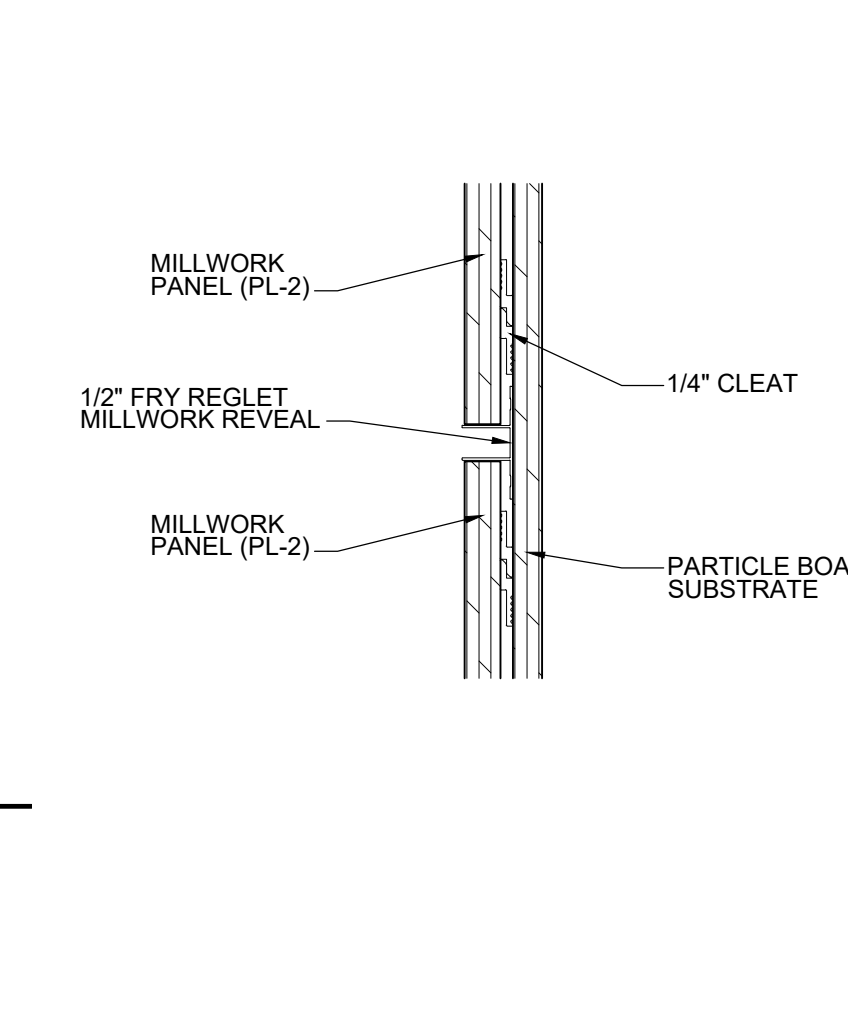


2 Millwork Elevation

3 Millwork Elevation



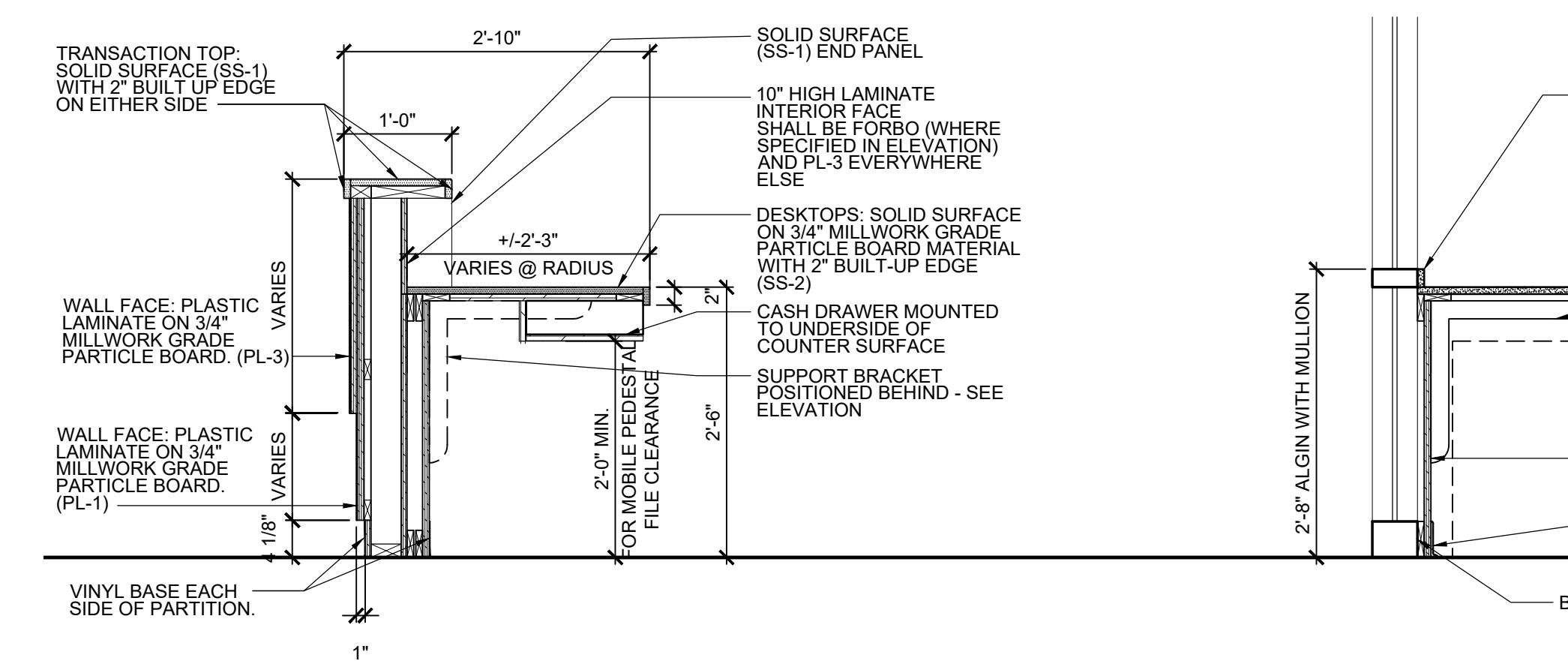
5 Millwork Section



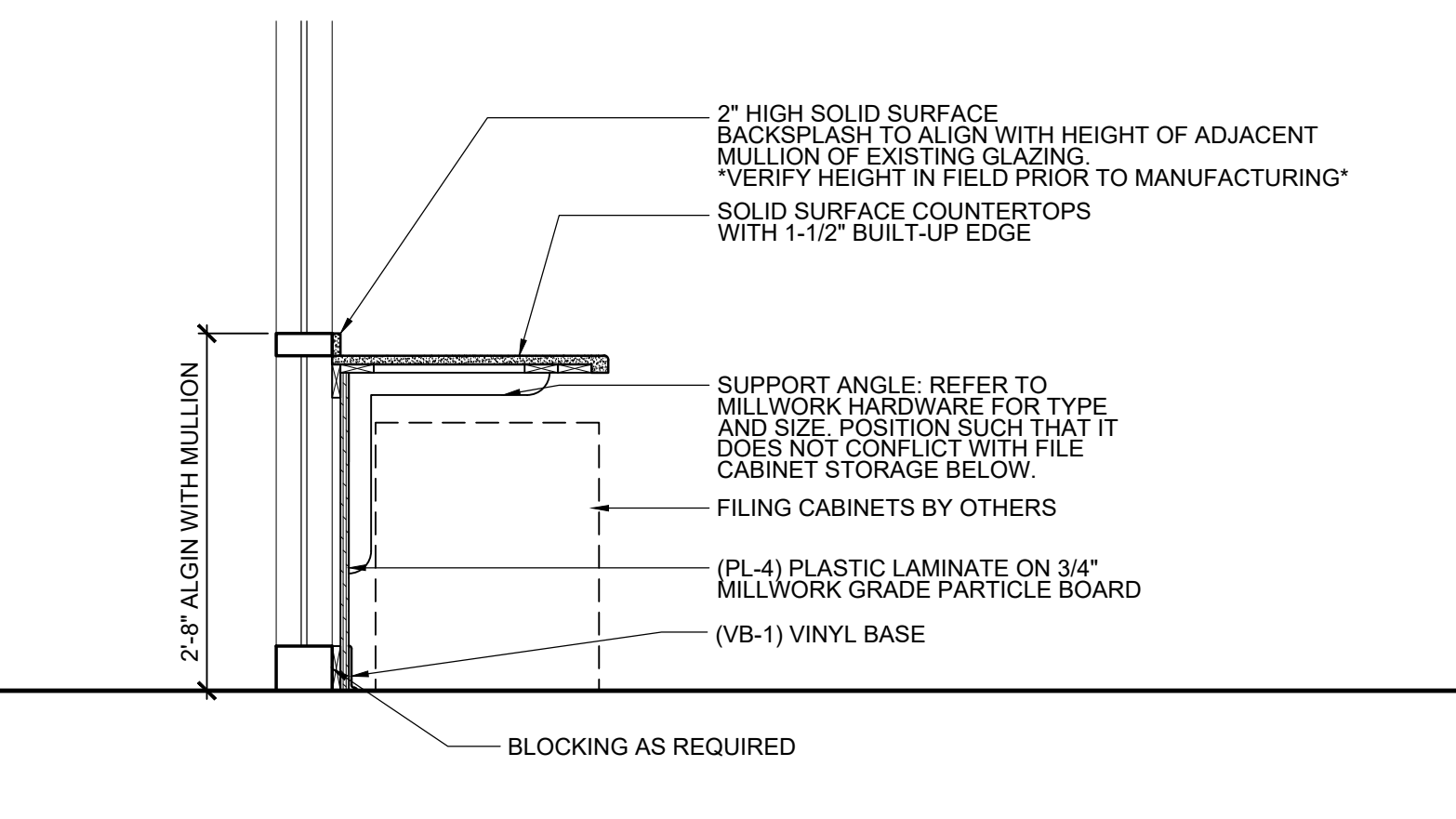
6A Millwork Section

6 Millwork Section

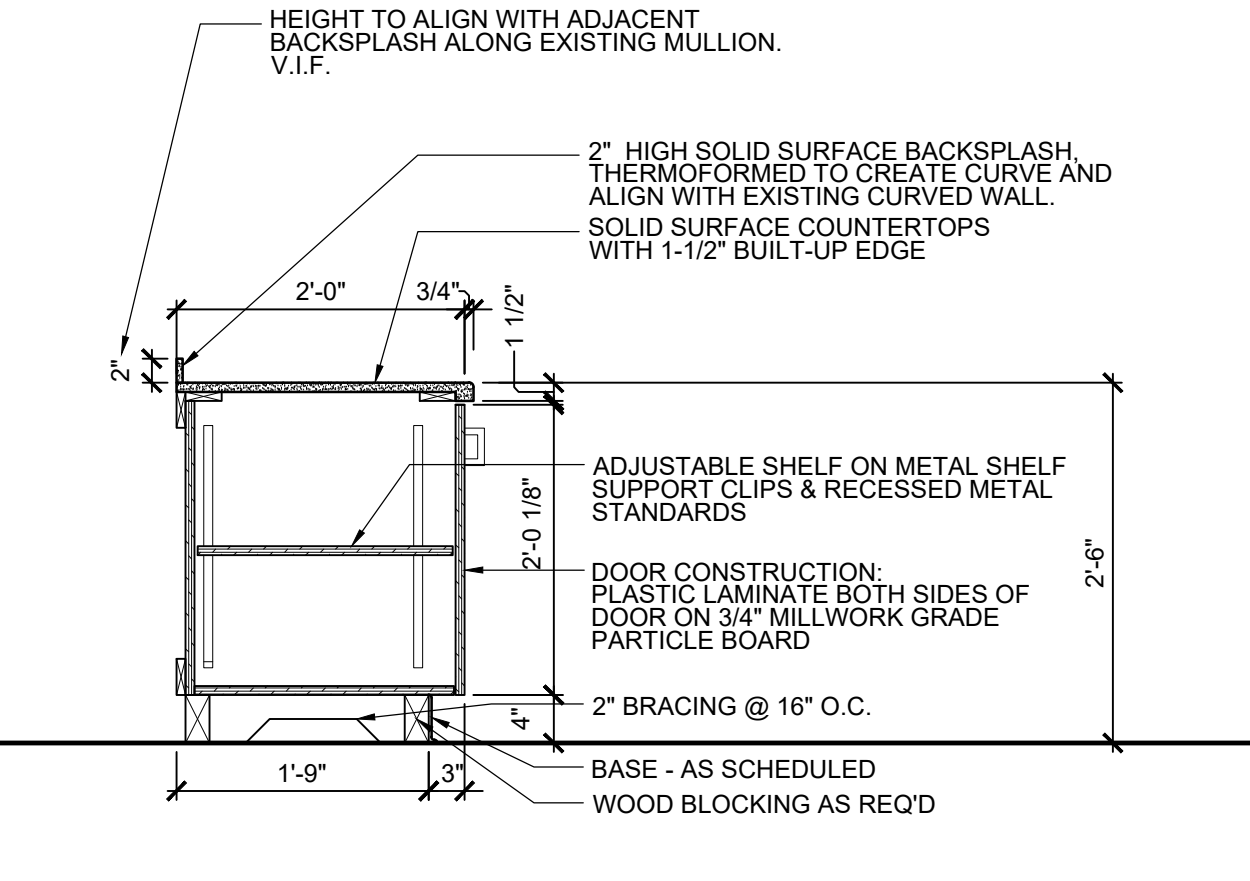
1 Enlarged Reception Desk Plan



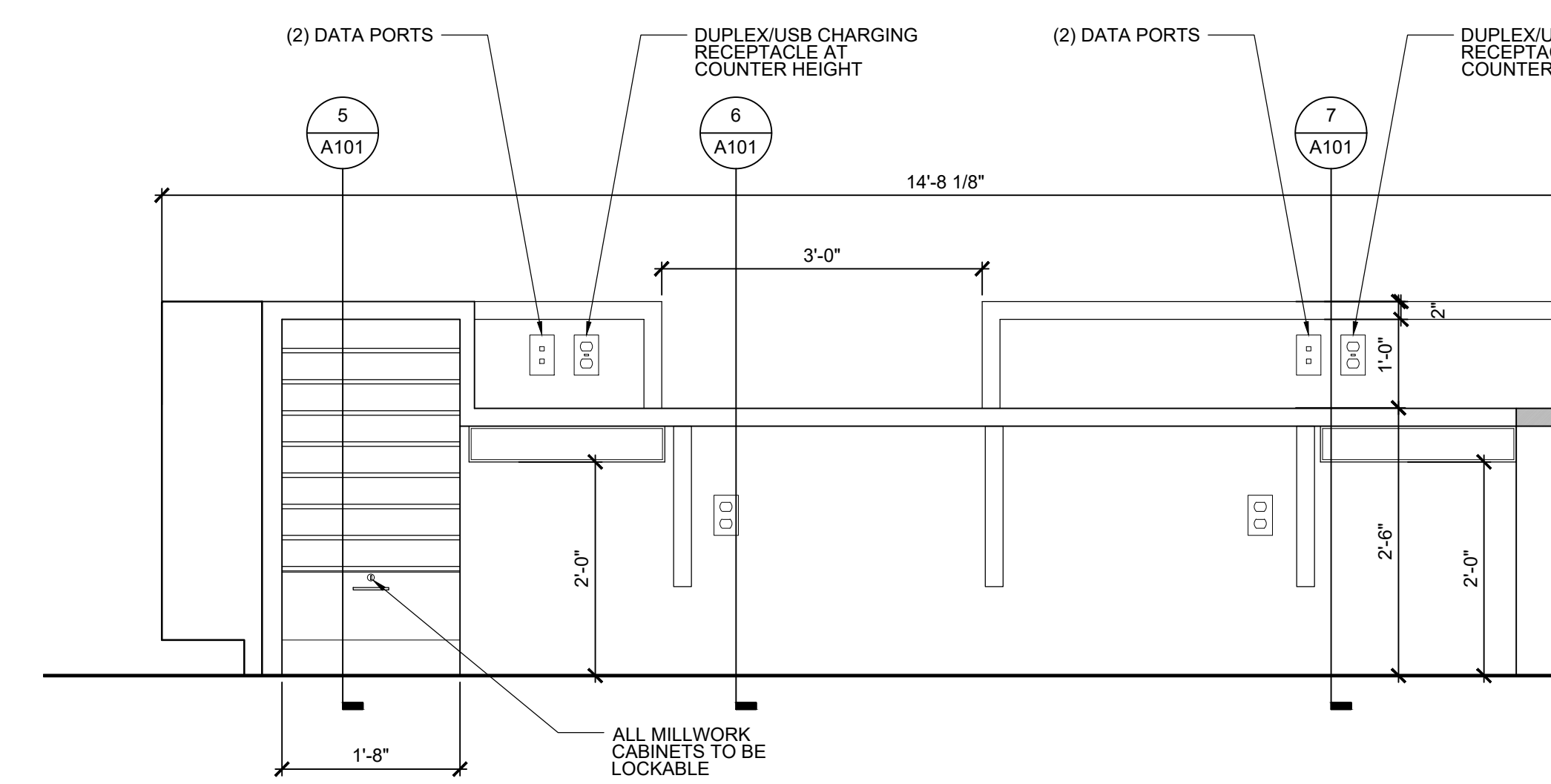
7 Millwork Section



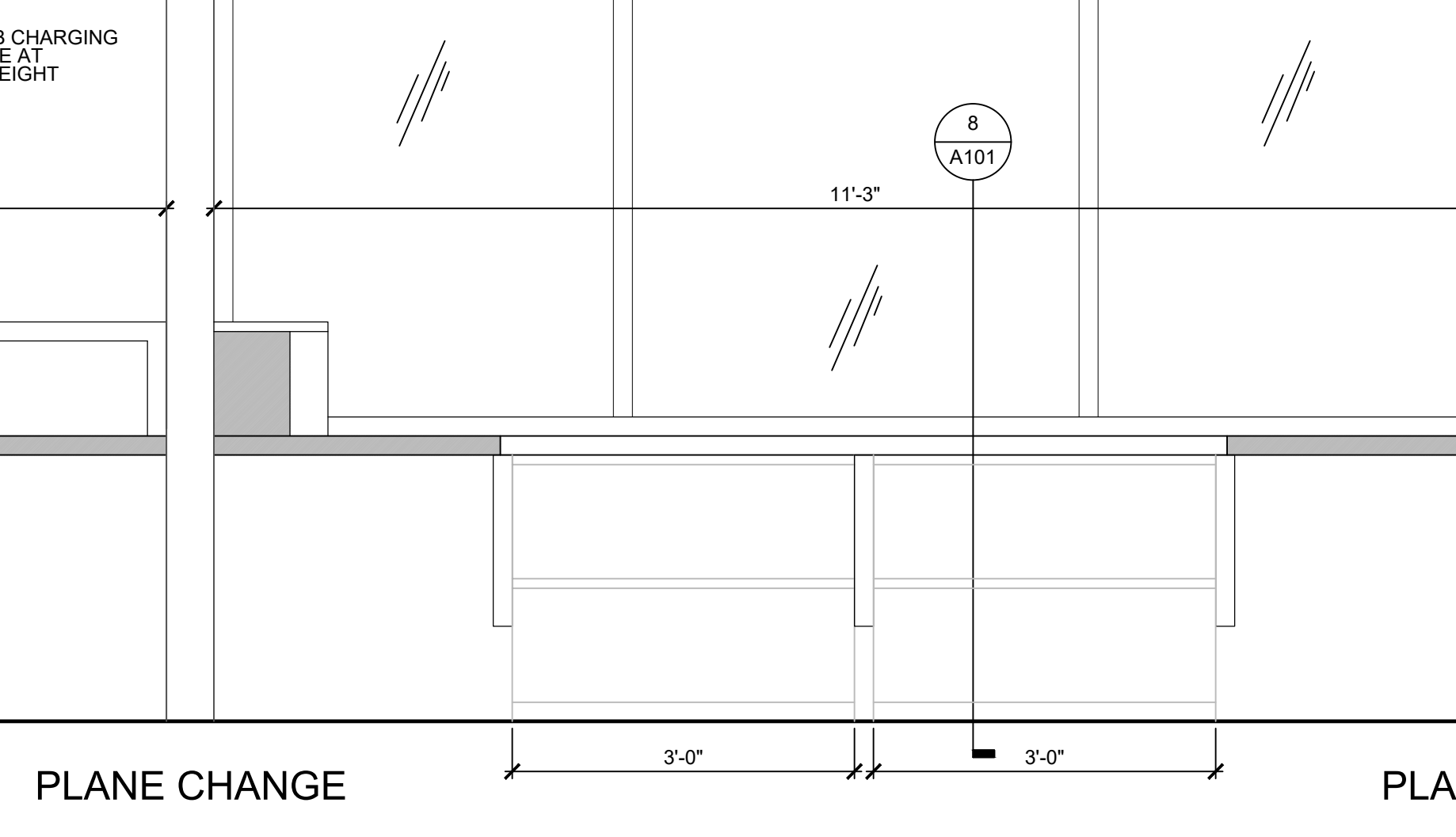
8 Millwork Section



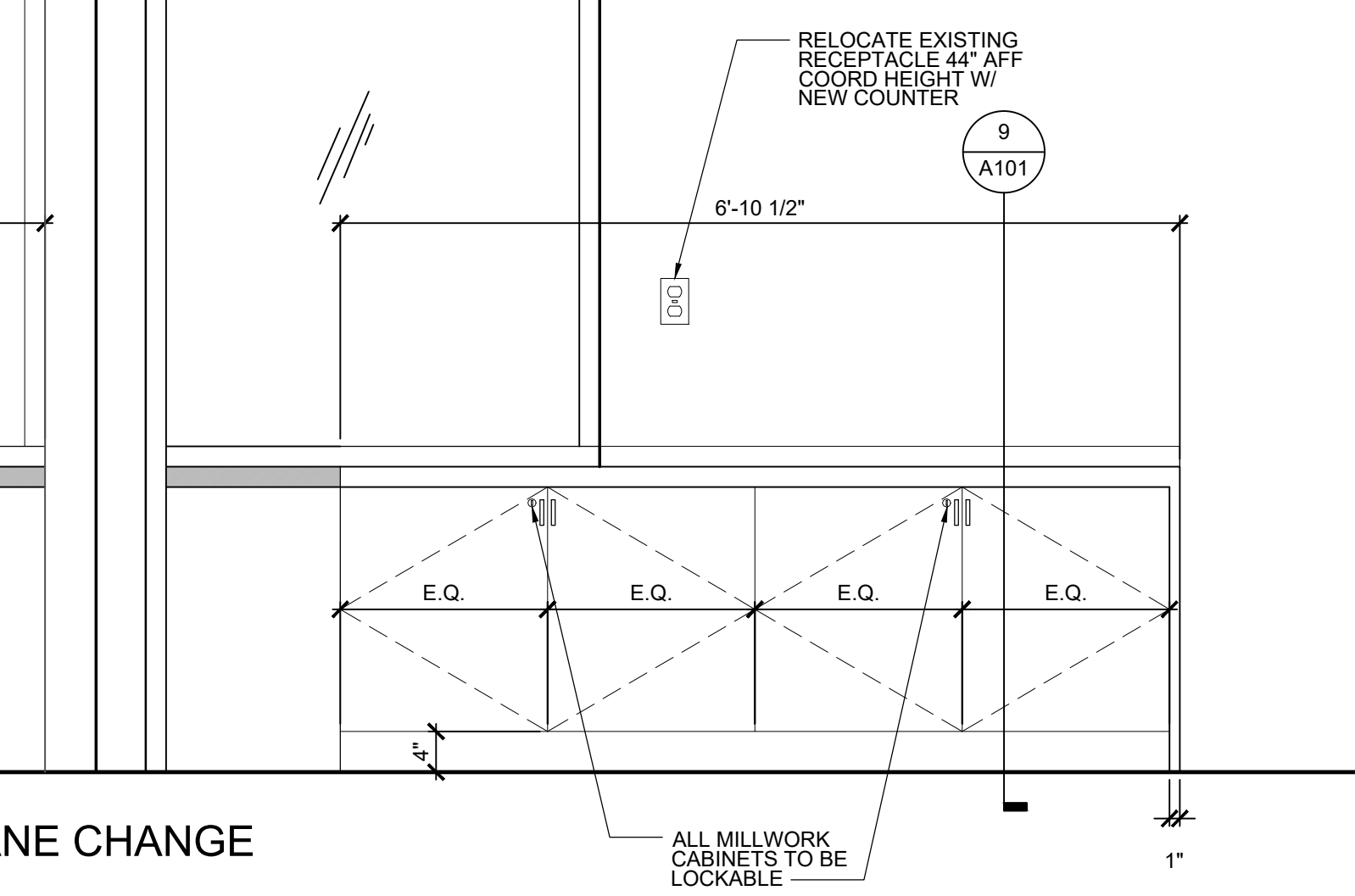
9 Millwork Section



4 Elevation - Desk Interior



INTERIOR ELEVATION



INTERIOR ELEVATION

MILLWORK CONSTRUCTION NOTES

- 1. EXPOSED SURFACES ON ALL MILLWORK TO BE HIGH PRESSURE PLASTIC LAMINATE...

HARDWARE & ACCESSORIES

- 1. FULLY CONCEALED EUROPEAN SELF CLOSING HINGE FOR FLUSH OVERLAY DOORS...

- 8. MILLWORK REVEALS AS INDICATED ON ELEVATIONS, SECTIONS & DETAILS...

Table with columns for No., Date, Description, and Revisions / Issues. Includes project information for DigroupArchitecture.

Client: Montclair State University
Project: Admin Reception Desk Renovation at Student Recreation Center

Drawing Information: Project No: 23.027, Date: 07/18/2023, Drawn By: SST, Checked By: CHK